

FIRE DAMAGED HOUSE AND ACCESSORY BUILDING TO BE REBUILT

RECEIVED

SOLANO COUNTY RESOURCE MANAGEMENT

JUL 06 2021

APPROVED

BUILDING DIVISION

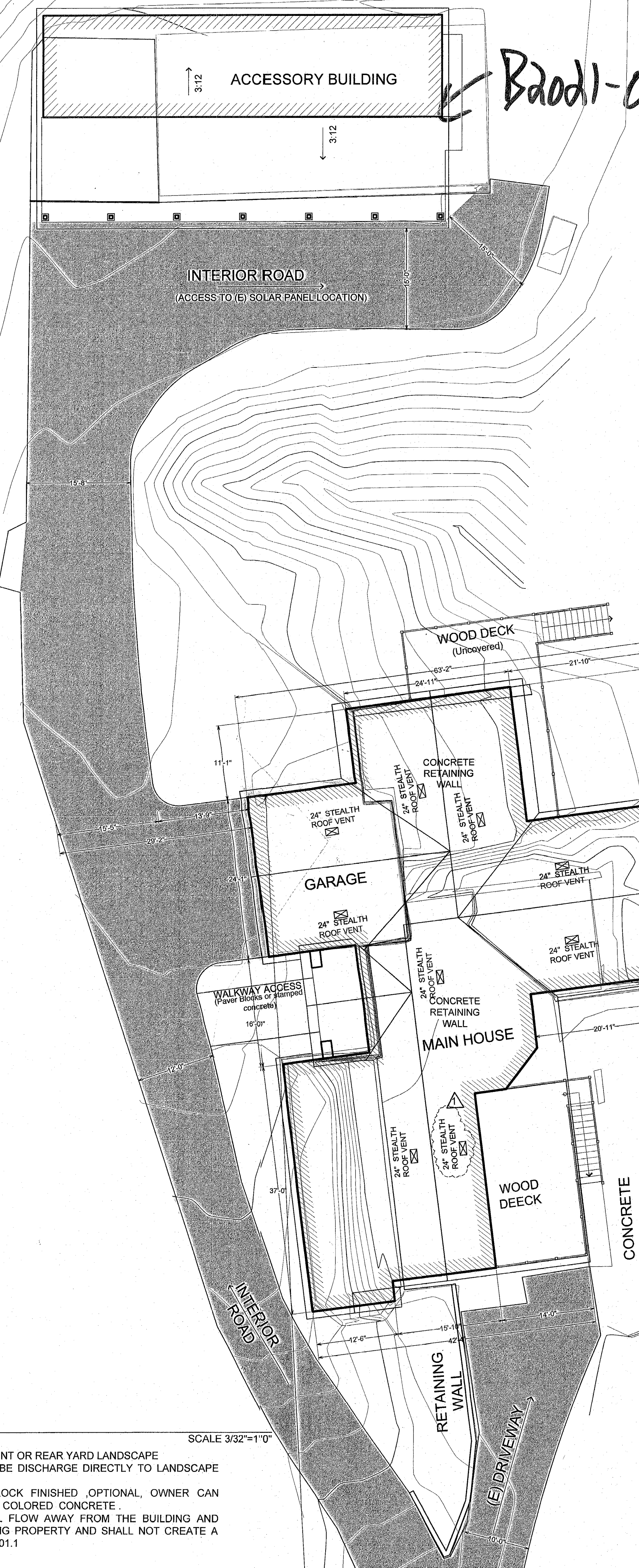
COUNTY OF SOLANO RESOURCE MANAGEMENT

DATE: 7/15/21

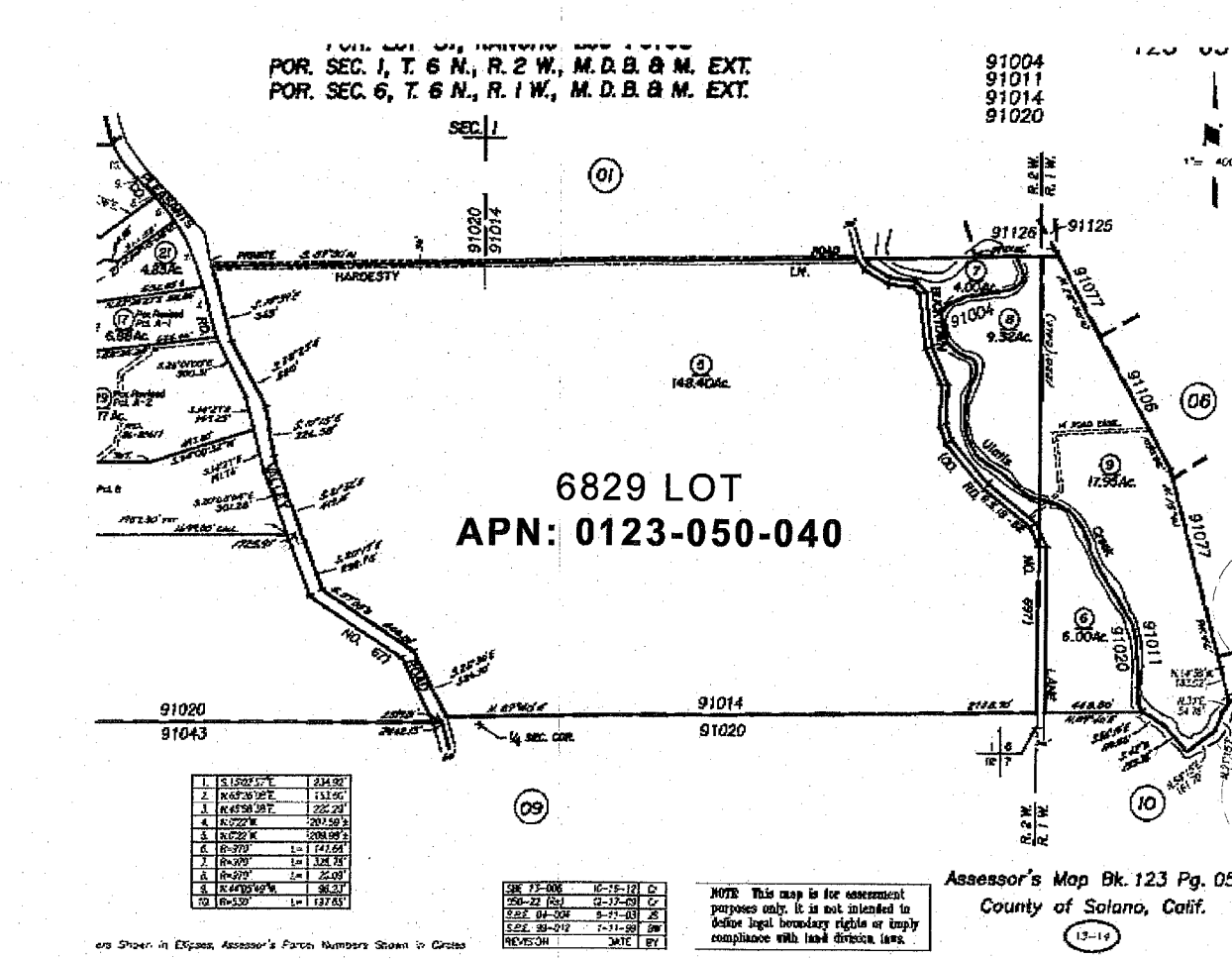
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PARCEL MAP NTS

FIRE SPRINKLER PLANS DEFERRAL SUBMITTAL
SOLAR DRAWINGS AREA A DEFERRED SUBMITTAL
TRUSSES CAN BE A DEFERRAL SUBMITTAL

Ba021-0509

PRIOR TO FINAL INSPECTION
SIGN-OFF REQUIRED BY:

- PLANNING
- FIRE
- ENV. HEALTH
- PUBLIC WORKS
- GRADING
- OTHER

FIRE SPRINKLER SYSTEM REQUIRED
HERS verification Required

DATA:

HOUSE DESCRIPTION	AREA SQ FT
1- PRIMARY DWELLING UPPER FLR (Living)	2,774 SQ. FT.
1.1- TWO CAR GARAGE / STORAGE	496 SQ. FT.
1.2- ENTRY PORCH	112 SQ. FT.
1.3- BALCONY / DECK (3 DECKS TOTAL)	
FAMILY ROOM COVERED DECK #1	=364 SQ. FT.
MASTER BED BALCONY/ DECK #2	=100 SQ. FT.
JUNIOR SUITE DECK #3	=300 SQ. FT.
PRIMARY DWELLING UNIT TOTAL AREA	4,146 SQ. FT.
2- LOWER DWELLING UNIT (Living Space)	1,574 SQ. FT.
2.1- BASEMENT STORAGE	359 SQ. FT.
LOWER FLR DWELLING UNIT TOTAL	1,933 SQ. FT.

DWELLING UNITS COVERAGE CALC:
 LIVING SPACE UNCONDITIONAL SPACE
 = 4,348 SQ. FT. = 1,731 SQ. FT.
 (Living & unconditional space) TOTAL AREA **6,079 SQ. FT.**

HOUSE FOOTPRINT=
 2774 (House) + 496 (Garage) + 764 (Decks)-112(Entry)
 = 4,146 SQ. FT.

ACCESSORY BLDG. DESCRIPTION	AREA SQ FT
1- WORKSHOP (15X50)	750 SQ. FT.
2- STORAGE (15X10)	150 SQ. FT.
3- OPEN PORCH (15X60)	900 SQ. FT.
TOTAL BUILDING FOOTPRINT AREA	1,800 SQ. FT.

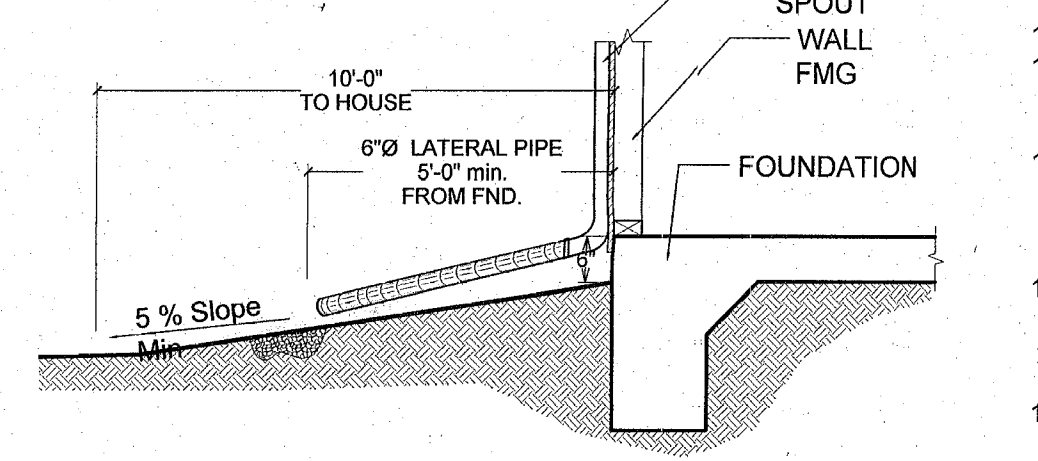
ALL BUILDING FOOTPRINT
 = HOUSE (4,146) + ACCESS, BLDG. (1,800) = 5,946 SQ. FT.

LOT COVERAGE CALCULATION
 5946 / 1,742,400 = 0.0034 = 3.4 % OF LOT.

SCOPE WORK:

- (E) HOUSE AND (E) ACCESSORY DAMAGED FOR FIRE HAS BEEN COMPLETELY REBUILT
- REBUILT TWO STORIES HOUSE (LIVING SPACE=4,348 SQ. FT.)
 - 496 SQ. FT. TWO CAR GARAGE AND STORAGE
 - NEW 112 SQ. FT. ENTRY PORCH (UPPER LEVEL)
 - 3 DECK ADDED (764 SQ. FT. OF WOOD DECK)
 - ADDED 359 SQ. FT. BASEMENT STORAGE.

HOLDOWN ANCHOR BOLTS AND STANDARD ANCHOR BOLTS SHALL BE IN PLACE PRIOR TO FOUNDATION INSPECTION.



(A) WATER AWAY FROM (N) FOUNDATION
 ALL DOWN SPOUT DRAINAGE AWAY FROM STRUCTURE TO LANDSCAPE AREAS- IMPERVIOUS SURFACE WITHIN 10' OF THE HOUSE FOUNDATION SHALL BE SLOPED A 5% MIN. AWAY PIER CRC 401.3

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PROJECT & SITE INFORMATION:

- OWNER: TERESA SHEEDER
- ADDRESS: 6829 Pleasant Valley road, Vacaville, CA 95688
- PHONE: (925) 212-1321
- E-mail: aussie1510@gmail.com
- DESIGN & PLANNING: ROBERTO PENA-Ranpel Designs
 1101 Farmington Dr. #294 Vacaville, CA 95687
 Phone: (707) 384-3638 -ranpeldesigns@gmail.com
- PARCEL: 0123-050-040
- LOT SIZE: 40 ACRES (1,742,400 SQ FT)
- ORIGINAL HOUSE YEAR BUILT: 1973
- OCCUPANCY: R-3
- CONSTRUCTION TYPE: V-B
- ZONING: R-LD
- LAND USE: Single Family Residential
- NUMBER OF STORIES: ONE
- MAX BLDG HEIGHT ALLOWED: 26'-0" PROPOSED HEIGHT= 26'-6"

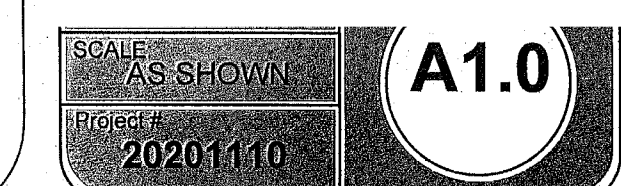
GENERAL NOTES:

- ALL CONSTRUCTION WORKMANSHIP AND MATERIALS SHALL CONFORM TO CALIFORNIA RESIDENTIAL CODE 2019 EDITION ALONG WITH ANY OTHER APPLICABLE LOCAL ORDINANCES AND REGULATIONS.
- ALL ELECTRICAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND STRUCTURAL WORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH EACH FIELD'S APPLICABLE CODES AND STANDARDS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE CBC 2019 EDITION AND ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS SHALL BE COMPLIED WITH IT IS THE RESPONSIBILITY OF ANY ONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE DESIGNER AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
- THE DESIGN, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING TEMPORARY SUPPORTS, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF THE SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. HE OR SHE SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS.
- CONCRETE SLAB OR CRAWL SPACE ON GRADE HAS NOT BEEN DESIGNED BY THE STRUCTURAL ENGINEER UNLESS SPECIFICALLY DETAILED ON THE DRAWINGS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE.
- THE DESIGNER SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR SHOULD ANY DISCREPANCY OR OTHER QUESTION PERTAINING TO THE WORKING DRAWINGS.
- REFER TO STRUCTURAL PLANS FOR ANY QUESTION REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTINGS AND SHEAR WALL REQUIREMENTS.
- ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS OR HER SUBCONTRACTORS DIMENSIONS TAKE PRECEDENT OVER SCALED DIMENSIONS.
- NO FRAMING OF ANY TYPE SHALL BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.
- NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT THE DESIGNER WHOSE SIGNATURE APPEARS HEREON.
- ALL OF A.S.T.M. DESIGNATIONS ARE TO BE OF THE LATEST EDITION.
- CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF ELECTRICAL SERVICES AND PLUMBING RUNS WITH ELECTRICAL AND PLUMBING CONTRACTORS BEFORE THE BEGINNING OF CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE EXISTING BUILDING AND ALL THE CONDITIONS PRIOR TO SUBMITTING BIDS TO THE OWNER SINCE PROPOSALS MUST TAKE INTO CONSIDERATION ALL SUCH CONDITIONS AS IT MAY AFFECT WORK.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ERRORS DISCREPANCIES OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER OR ENGINEER BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
- NO DEVIATIONS FROM THE STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OR BY PROJECT CITY INSPECTOR.
- THE CONTRACTOR WARRANTS TO THE OWNER AND DESIGNER THAT HE OR SHE POSSESS THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITHOUT FULL ENGINEERING & ARCHITECTURAL SERVICES, AND FOR THE REASON THAT THE CONTRACTOR WISHES TO RELY UPON HIS OR HER OWN COMPETENCE THE CONTRACTOR OR OWNER HAS RESTRICTED THE DESIGNER'S SCOPE OF PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES SHALL BE THE OWNER BUILDERS PLANS IN RECOGNITION OF THE CONTRACTORS SOPHISTICATION. CONSTRUCTION WILL REQUIRE THAT THE CONTRACTOR ADAPT THE BUILDERS PLANS TO THE FIELD CONDITIONS ENCOUNTERED, MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION, AND QUANTITY THAT ARE TREATED ONLY GENERALLY BY THE BUILDERS PLANS. IN THE EVENT ADDITIONAL DETAIL OR GUIDANCE IS NEEDED BY THE CONTRACTOR OR OWNER FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, HE OR SHE SHALL IMMEDIATELY NOTIFY THE DESIGNER.

APPLICABLE CODES:

- PLANS CONFORM CALIFORNIA BUILDING CODE (CBC) 2019 EDITION.**
- 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
 - 2019 CALIFORNIA MECHANICAL CODE (CMC)
 - 2019 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2019 CALIFORNIA PLUMBING CODE (CPC)
 - 2019 CALIFORNIA FIRE CODE (CFC)
 - 2019 CALIFORNIA GREEN BLDG. STANDARDS CODE (CGBSC)
 - 2019 CALIFORNIA ENERGY CODE (2008 CAL. ENERGY STANDARDS AMENDED BY STATE OF CALIFORNIA AND LOCAL JURISDICTION)
 - & ALL APPLICABLE MUNICIPAL LOCAL & STATE CODES.

SITE PLAN
 SCALE 3/32"=1'-0"
SITE NOTES:
 1. NOT CHANGES TO FRONT OR REAR YARD LANDSCAPE
 2. ALL DOWNSPOUT TO BE DISCHARGE DIRECTLY TO LANDSCAPE AREA (U.N.O.)
 3. DRIVEWAY PAVER BLOCK FINISHED, OPTIONAL, OWNER CAN CHANGE TO STAMPED COLORED CONCRETE.
 4. STORM WATER SHALL FLOW AWAY FROM THE BUILDING AND AWAY FROM ADJOINING PROPERTY AND SHALL NOT CREATE A NUISANCE PER CPC 1101.1



ENVIRONMENTAL QUALITY NOTES:

FIREPLACES (4.503)
 4.503.1 GAS FIREPLACES SHALL BE DIRECT-VENT SEALED COMBUSTION TYPE. ANY WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND HAS A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS AS WELL AS SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULES & RICHMOND MUNICIPAL CODE.
 4.504.1 DUCT OPENING AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENING SHALL BE COVERED DURING CONSTRUCTION.
 4.504.2.1 ADHESIVE, SEALANT AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS
 4.504.2.2 PAINTS, STAIN AND OTHER COATING SHALL BE COMPLIANT WITH VOC LIMITS
 4.504.2.3 AEROSOL PAINT AND OTHER COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS
 4.504.2.4 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

4.504.3 CARPET AND CARPET SYSTEM SHALL BE COMPLIANT WITH VOC LIMITS. (SEE SHT CG1)
 4.504.4.5 PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. (SEE SHT CG1)
 4.505.2 VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS.
 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.
 4.506.1 HUMIDITY CONTROLLED EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM UNLESS OTHERWISE A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM.

4.507.2 DUCT SYSTEM ARE SIZED AND DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
 1- ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSIIACCA MANUAL J-2004 OR EQUIVALENT.
 2- SIZE DUCT SYSTEMS ACCORDING TO ANSIIACCA 1 MANUAL D-2009 OR EQUIVALENT.
 3- SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSIIACCA 3 MANUAL S-2004 OR EQUIVALENT.

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
 1- ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSIIACCA 2 MANUAL J-2011 OR EQUIVALENT.
 2- SIZE DUCT SYSTEMS ACCORDING TO ANSIIACCA 1 MANUAL D-2014 OR EQUIVALENT.
 3- SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSIIACCA 3 MANUAL S-2014 OR EQUIVALENT.

702.1 INSTALLER TRAINING, HVAC SYSTEM INSTALLERS ARE TRAINED & CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.
702.2 SPECIAL INSPECTION. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.
703.1 DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

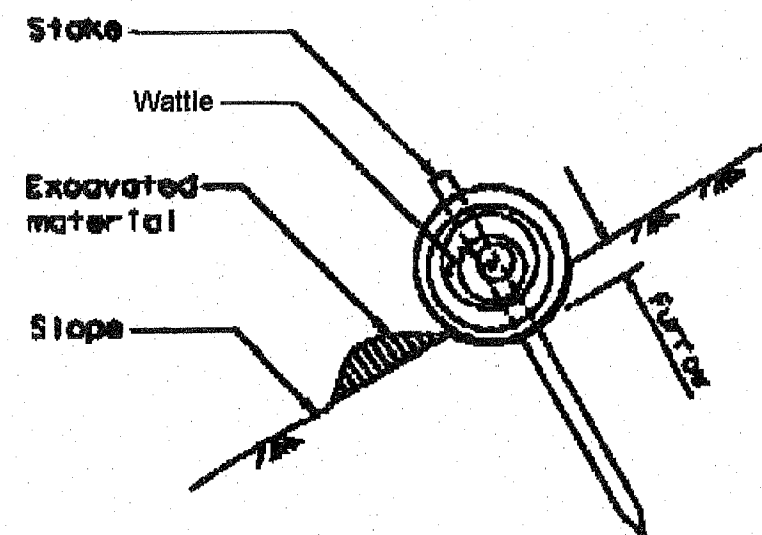
MATERIAL CONSERVATION NOTES:

4.408.1 RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUIT, OR OTHER OPENINGS IN PLACE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO ENFORCING AGENCY

4.408.1 CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE IN COMPLIANCE WITH LEAST A 50 PERCENT REDUCTION

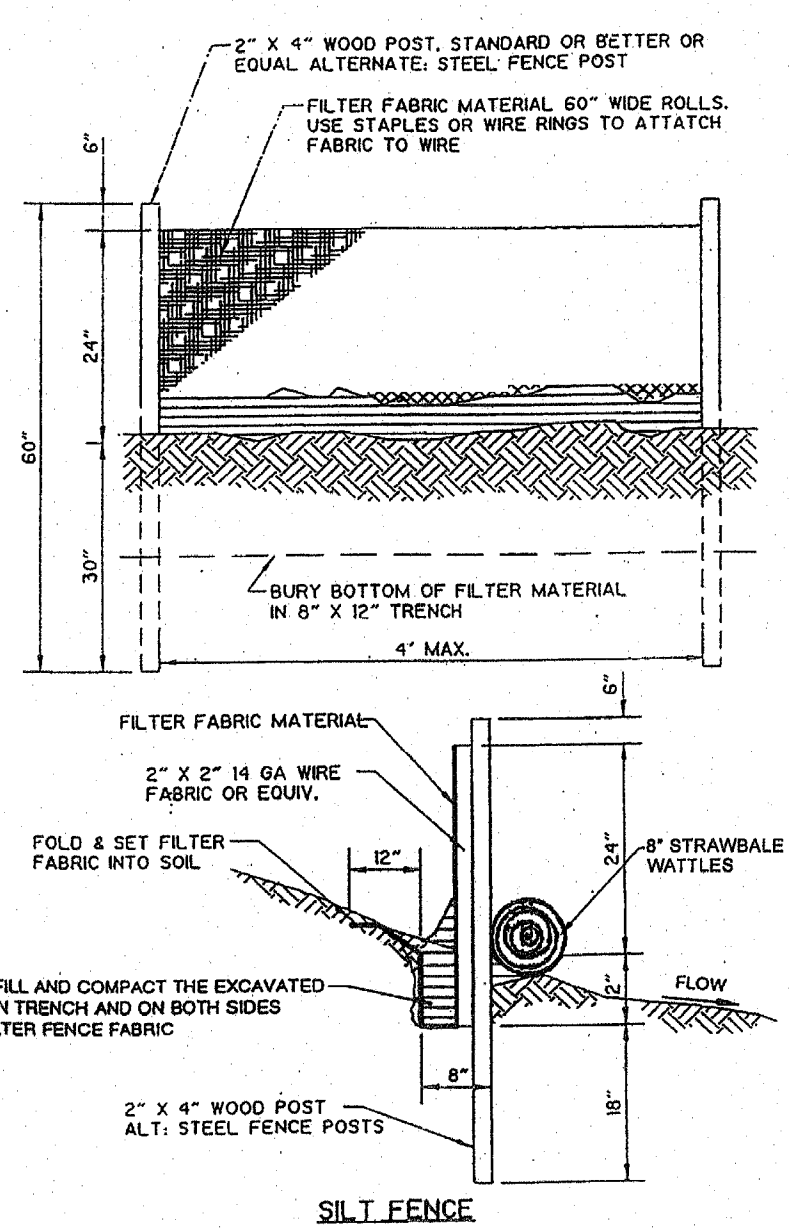
4.410.1 AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER

CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING (4.408.1)
 4.408.1 A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED FROM LANDFILLS FOR RECYCLE OR SALVAGE. WASTE MANAGEMENT PLAN (S.C.M.C. CHAPTER 8.69) SHALL BE PRE-APPROVED BY CITY ENVIRONMENTAL SERVICES DIVISION.



**SECTION
INSTALLATION OF WATTLES**

Additional Information — Silt Fence



GENERAL NOTES:

A. PRIOR TO EXCAVATION AND WALL CONSTRUCTION, VERIFY SITE LAYOUT WITH ARCHITECTURAL DRAWINGS. IF DISCREPANCIES ARE FOUND CONTACT THE ENGINEER FOR A CLARIFICATION PRIOR TO STARTING ANY WORK

B. FILL IF REQUIRED SHALL BE PLACED USING A "SHEEPPFOOT" ROLLER IN UNIFORM HORIZONTAL LIFTS NOT EXCEEDING 8" UNCOMPACTED THICKNESS. EACH LIFT MUST BE MOISTURE CONDITIONED AND MIXED THOROUGHLY. AREAS TO BE FILLED SHALL BE PREPARED BY REMOVING VEGETATION, TOPSOIL, NON-COMPLYING FILL OR ANY UNSUITABLE MATERIAL AS TERMINATED BY THE SOILS ENGINEER ON THE FIELD. ALL FILL AREAS SHALL BE COMPACTED TO 90% (ASTM METHOD D1557-84) FILL EXCEEDING 3" IN THICKNESS SHALL BE SUB-DRAINED. THE SOILS ENGINEER SHALL SUBMIT A GRADING REPORT TO THE COUNTY AND THE RESULTS OF THE COMPACTION TEST SHALL ALSO BE SUBMITTED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE MEASURES TO PREVENT EROSION ON FRESHLY GRADED AREAS DURING CONSTRUCTION, AND UNTIL SUCH TIME AS PERMANENT DRAINAGE AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

C. NOT USED

D. PRIOR TO INSTALLING FINAL PAVEMENT OR GROUND CONCRETE, BASE AND COMPACTION SHALL BE APPROVED BY CITY INSPECTOR OR ENGINEER.

E. EXAMINATION OF SITE: THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL GRADES, MEASUREMENTS AND CONDITIONS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF IT. THE CONTRACTOR ALONE IS RESPONSIBLE FOR JOB SITE SAFETY. SITE REVIEW OF THE CONSTRUCTION BY THE ENGINEER, IF ANY IS TO DETERMINE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. IT DOES NOT ENCOMPASS SAFETY PROCEDURES, GENERAL CONSTRUCTION PROCEDURES, SCHEDULING OR OPERATIONS.

SPECIAL INSPECTIONS

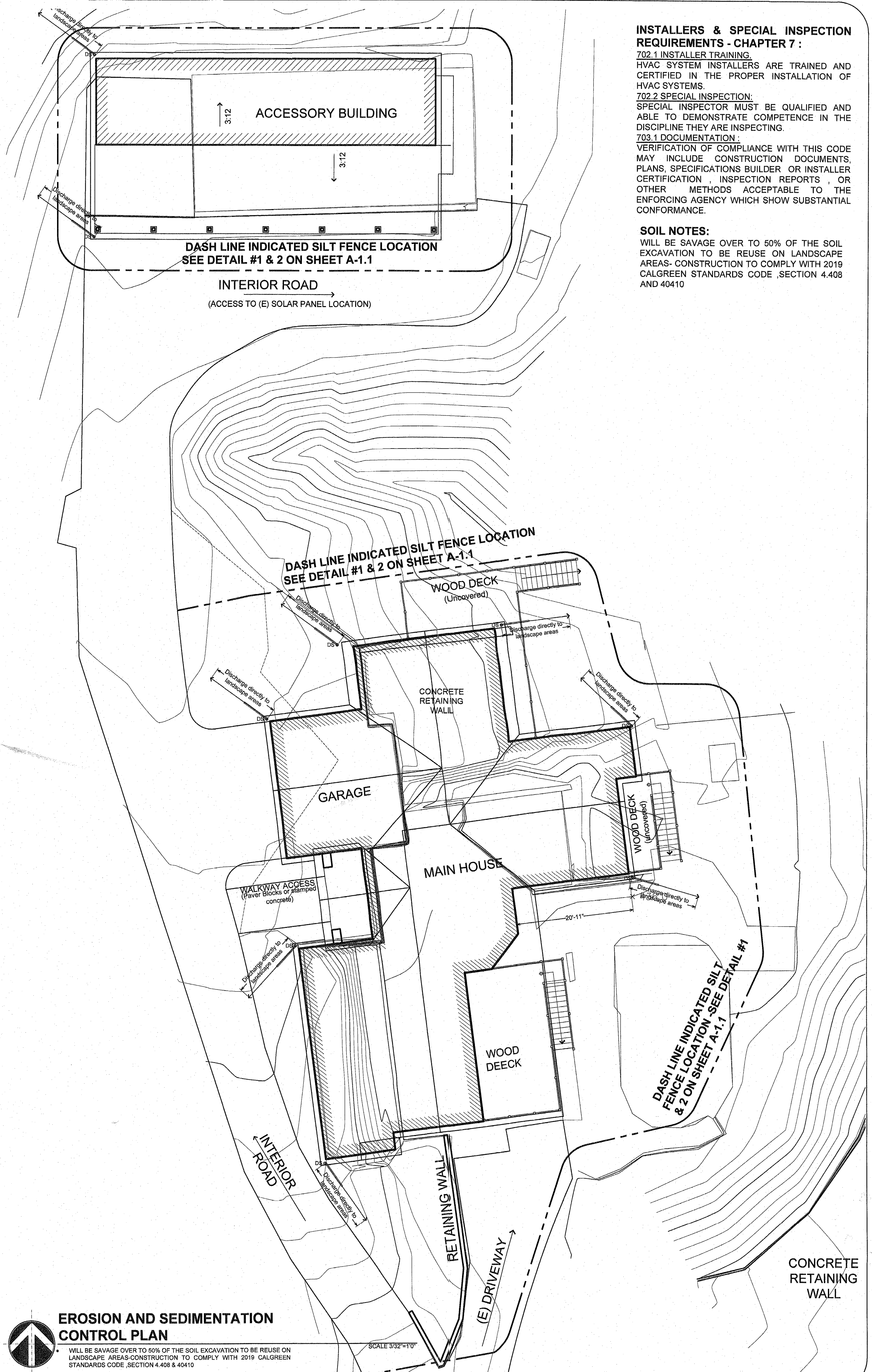
1. ALL OTHER INSPECTIONS BY THE BUILDING AND ENGINEERING DEPARTMENT OF THE CITY ISSUING THE BUILDING PERMIT.
2. EXCAVATION AND FILL OPERATIONS BY CITY INSPECTOR OR SOIL ENGINEER.
3. A WRITTEN REPORT FROM THE AN SOILS ENGINEER SHALL BE FILED FOR FILL OPERATION AND PIER DRILLING OPERATIONS (ONLY IF THIS PROCESS IS REQUIRED PER CITY INSPECTOR)

SITE NOTES

1. PRIOR TO ANY CUTTING OR FILLING THE SITE SHALL BE STRIPPED TO A SUFFICIENT DEPTH TO REMOVE ALL GRASS, WEEDS, ROOTS AND OTHER VEGETATION. THE STRIPPED MATERIAL SHALL EITHER BE REMOVED FROM THE SITE OR STOCKPILED FOR REUSE LATER AS TOPSOIL, BUT NONE OF THE STRIPPED MATERIAL MAY BE USED FOR ENGINEERING FILL. WHERE TREES ARE REMOVED, THE SOIL LOOSENED AND THE ROOTS SHALL BE OVER-EXCAVATED AT LEAST TO THE BOTTOM OF THE ROOT SYSTEM.
2. ALL ENGINEERING INSPECTIONS REQUIRE 24 HOURS NOTICE.
- 3.
4. CONSTRUCTION WORKING HOURS SHALL NOT EXTEND BEYOND 7 A.M. TO 6 P.M. MONDAY THROUGH FRIDAY, WITHOUT SPECIFIC WRITTEN PERMISSION FROM THE CITY OF VACAVILLE OR SOLANO COUNTY.
5. ROADWAYS SHALL BE MAINTAINED CLEAR OF CONSTRUCTION MATERIALS AND DEBRIS AT ALL TIMES. DAILY CLEAN UP WILL BE ENFORCED.
6. DUST CONTROL MEASURES SHALL BE IMPLEMENTED AS NECESSARY.
7. ON SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
8. SURFACE AND RUNOFF DRAINAGE PIPING SHALL BE KEPT ENTIRELY SEPARATED FROM BACKDRAIN/SUBDRAIN SYSTEMS.
9. THE CONTRACTOR OR OWNER SHALL CONTACT THE BUILDING DIVISION 24 HOURS PRIOR TO COVERING ANY DRAINAGE SYSTEM COMPONENTS OR POURING ANY CONCRETE DRAINAGE STRUCTURE.
10. EXISTING CURB, SIDEWALK OR STREET ADJACENT TO PROPERTY THAT IS DAMAGED OR DISPLACED SHALL BE REPAIRED OR REPLACED EVEN IF THE DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO ANY WORK PERFORMED FOR THIS PROJECT.
11. ANY DAMAGE TO IMPROVEMENTS WITHIN THE CITY RIGHT OF WAY OR TO ANY PRIVATE PROPERTY, WHETHER ADJACENT TO SUBJECT PROPERTY OR NOT, THAT IS DETERMINED BY TOWN ENGINEERS TO HAVE RESULTED FROM CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT, SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE TOWN ENGINEER.
12. ALL IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE CITY OF VACAVILLE OR SOLANO COUNTY SPECIFICATIONS AND WILL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY.
13. THE CONTRACTOR OR OWNER SHALL CONTACT THE WASTEWATER DIVISION 24 HOURS PRIOR TO STARTING ANY OF THE FOLLOWING ACTIVITIES: BACKFILLING, TRENCHING, PAVEMENT RESTORATION, SEWER TAP, PIPE INSTALLATION OR ANY OTHER SEWAGE WORK.
14. ALL SEWER CONNECTIONS, STREET TRENCHING AND DRIVEWAY CONSTRUCTION SHALL BE MADE ACCORDING TO THE CITY OF VACAVILLE OR SOLANO COUNTY STANDARDS.
15. ALL SURFACE WATER SHALL BE DIVERTED AWAY FROM FOUNDATIONS SLOPE GRADING AT LEAST 2%.
16. CLEAN OUTS (C.O.) TO BE INSTALLED AT ALL BENDS IN THE SUB-DRAIN PIPE LAYOUT.
17. ALL DOWNSPOUTS SHALL BE CONNECTED TO SOLID PIPES DRAINING AWAY FROM THE FOUNDATION. ALL DOWN SPOUT DRAINAGE AWAY FROM STRUCTURE DIRECTLY TO LANDSCAPE AREAS. IMPERVIOUS SURFACE WITHIN 10' OF THE HOUSE FOUNDATION SHALL BE SLOPED A 5% MIN. AWAY (See DET-A)

NOTES FOR STORM WATER POLLUTION PREVENTION

1. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING SOLID WASTE, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENT AND NON STORM WATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
2. AVOID CLEANING FUELING OR MAINTAINING VEHICLES ON SITE EXCEPT IN DESIGNATED AREAS IN WHICH RUNOFF IN CONTAINED AND TREATED.
3. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS & WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORM WATER.
4. USE SEDIMENT CONTROL OR FILTRATION TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT DELINEATE CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES, AND DRAINAGE COURSES WITH FIELD MARKERS.
5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS, FILTERS, DIKES MULCHING OR OTHER APPROPRIATE MEASURES.
6. PERFORM EARTH AND CLEARING ACTIVITIES ONLY DURING DRY WEATHER.
7. LIMIT THE TIME AND APPLICATION OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
8. LIMIT CONSTRUCTION ACCESS ROUTS TO STABILIZED DESIGNATED ACCESS POINTS.
9. AVOID TRACKING DIRT OR OTHER MATERIALS OFF SITE, CLEAN OFF SITE-PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.



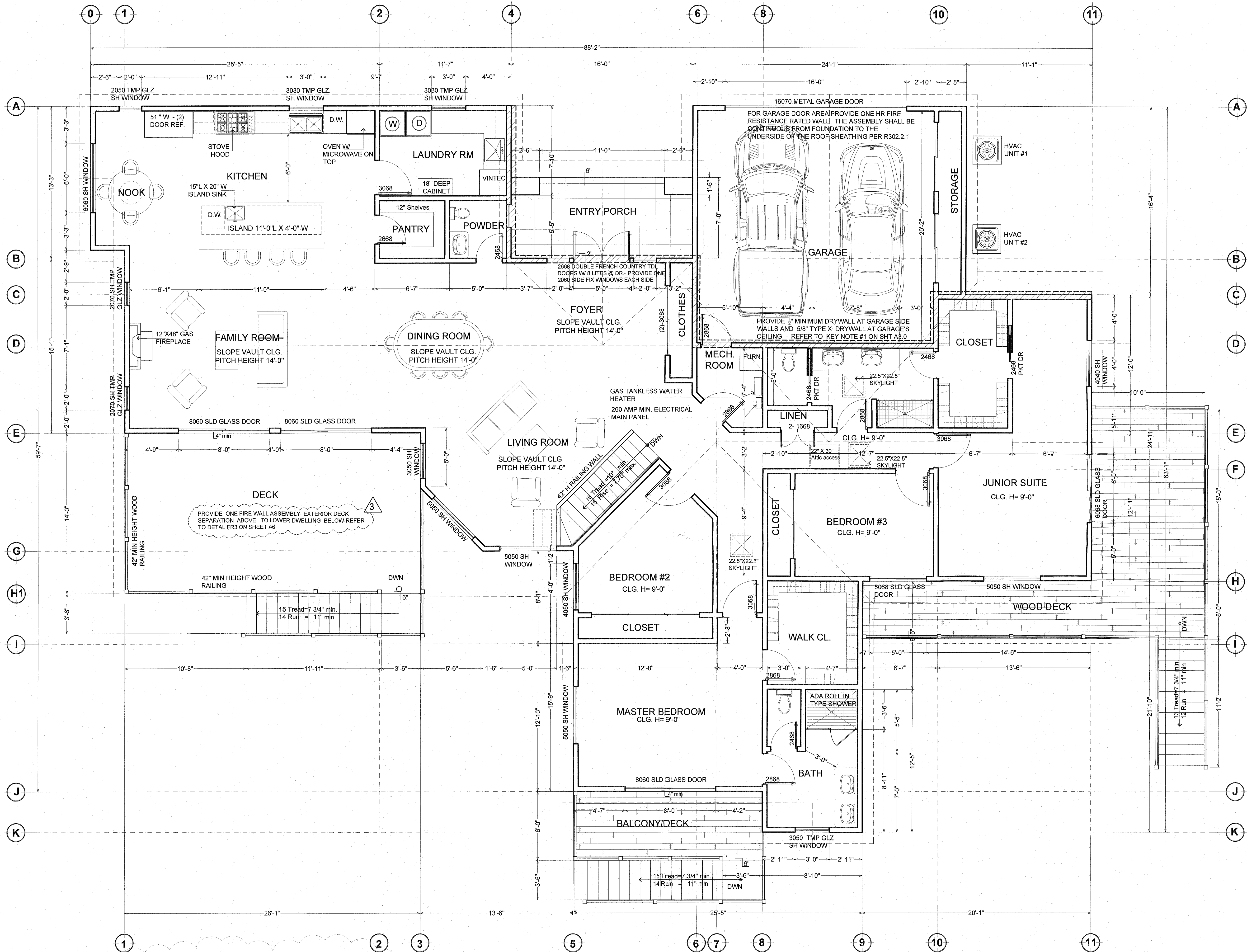
INSTALLERS & SPECIAL INSPECTION REQUIREMENTS - CHAPTER 7 :
702.1 INSTALLER TRAINING. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.
702.2 SPECIAL INSPECTION: SPECIAL INSPECTOR MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.
703.1 DOCUMENTATION : VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

SOIL NOTES:
 WILL BE SAVAGE OVER TO 50% OF THE SOIL EXCAVATION TO BE REUSE ON LANDSCAPE AREAS- CONSTRUCTION TO COMPLY WITH 2019 CALGREEN STANDARDS CODE SECTION 4.408 AND 40410

EROSION AND SEDIMENTATION CONTROL PLAN

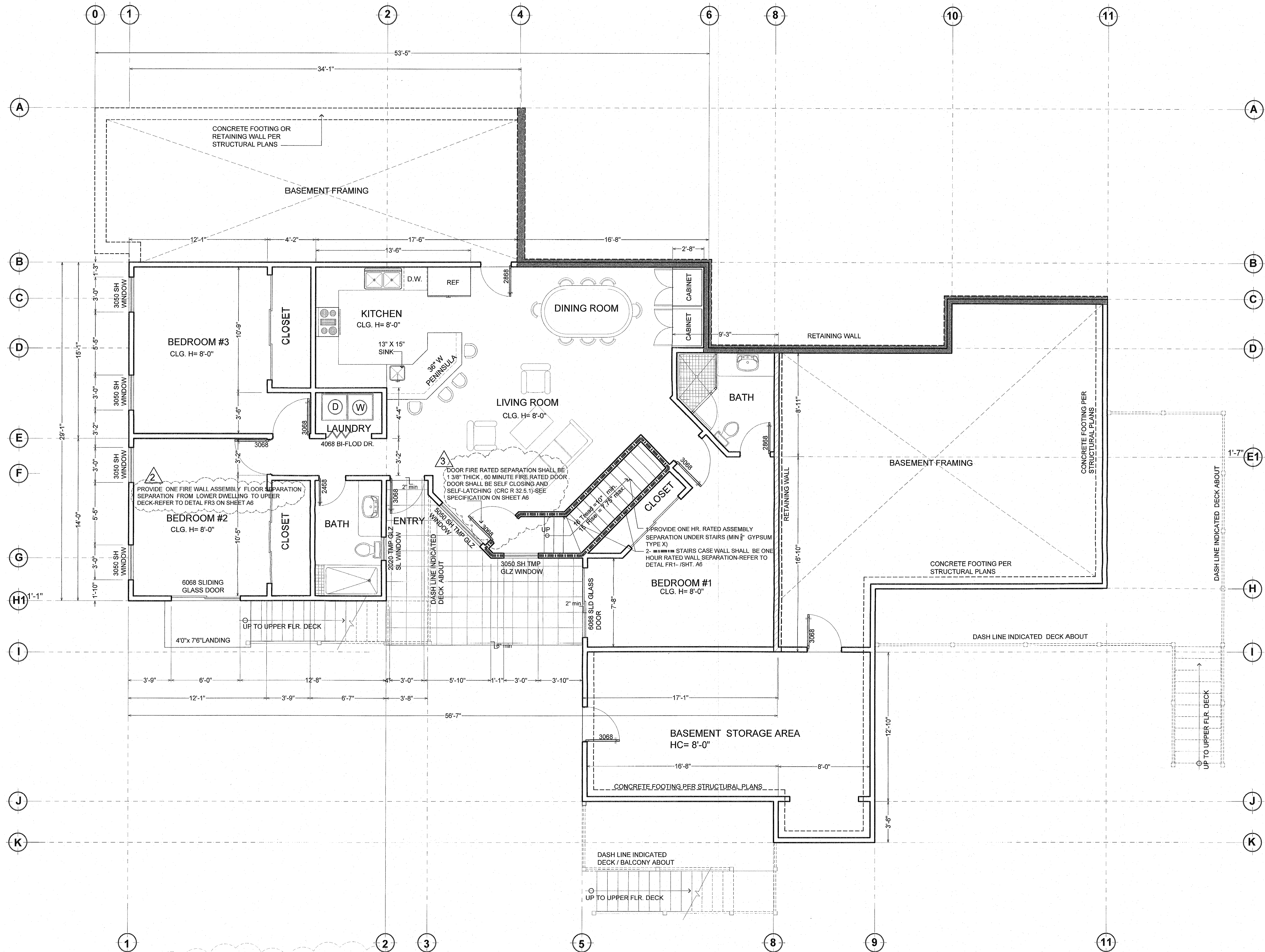
SCALE: 3/32"=1'-0"
 WILL BE SAVAGE OVER TO 50% OF THE SOIL EXCAVATION TO BE REUSE ON LANDSCAPE AREAS- CONSTRUCTION TO COMPLY WITH 2019 CALGREEN STANDARDS CODE SECTION 4.408 & 40410

SCALE: AS SHOWN
 Project # 20201110
A1.1



**1 PRIMARY DWELLING UNIT
 UPPER LEVEL FLOOR PLAN**

SCALE 1/4"=1'0"



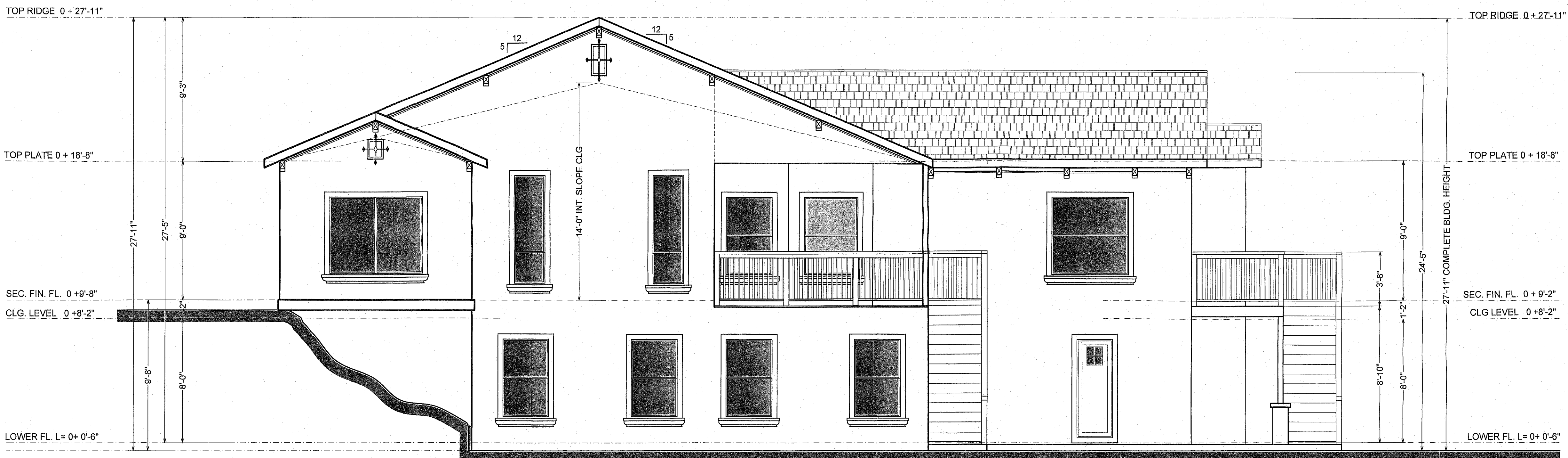
**1 SECONDARY DWELLING UNIT
 LOWER LEVEL FLOOR PLAN**

SCALE 1/4"=1'0"



(N) FRONT ELEVATION

SCALE 1/4"=1'0"



(N) RIGHT ELEVATION

SCALE 1/4"=1'0"

ELEVATIONS NOTES.

- ALL EXTERIOR WALL FINISH:** 7/8" THREE COAT STUCCO PLASTER - STUCCO INSTALLATION REQUIREMENTS:
1.a) WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR - PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE "D" PAPER (R703.6.3).
1.b) PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE. PRESURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM-BACKING (R703.6.2).
1.c) A MINIMUM 28 GALVANIZED CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS, AND, THE SCREED SHALL BE PLACED A MINIMUM OF INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.
- CULTURAL STONE:** PROVIDE CULTURAL STONE OVER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR - PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE "D" PAPER (R703.6.3).
- INSTALLED PER MANUFACTURED REQUIREMENTS
- MOLDING OVER TO VENEER BAND:** PROVIDE THK 4" SLOPING FOAM MOLDED O/WALL 36" HEIGHT TO GROUND W/STUCCO AND ACCENT COLOR (TYPICAL) U.N.O.
- ROOF COVERINGS AND ASSEMBLIES:** ROOF COVERING FIRE RATINGS ARE CLASS A, B, C, OR UNRATED, WITH CLASS A PROVIDING THE BEST PERFORMANCE. COMMON CLASS A ROOF COVERINGS INCLUDE ASPHALT FIBERGLASS COMPOSITION SHINGLES, CONCRETE, AND FLAT/BARREL-SHAPED TILES. SOME MATERIALS HAVE A "BY ASSEMBLY" CLASS A FIRE RATING WHICH MEANS, ADDITIONAL MATERIALS MUST BE USED BETWEEN THE ROOF COVERING AND SHEATHING TO ATTAIN THAT RATING. EXAMPLES OF ROOF COVERINGS WITH A "BY ASSEMBLY" FIRE RATING INCLUDE ALUMINUM, RECYCLED PLASTIC AND RUBBER, AND SOME FIRE-RETARDANT WOOD SHAKE PRODUCTS. IF A WOOD SHAKE ROOF DOES NOT HAVE THE MANUFACTURER'S DOCUMENTATION SPECIFYING THE FIRE RETARDANT, ASSUME IT'S UNTREATED. NEW ROOF TO BE LIGHT CHARCOAL COLOR - ROOFING TO I.C.D.O. CERTIFIED AND INSTALLED PER MFG'S REQUIREMENTS - INSTALLATION OF TWO LAYER OF TYPE 20 LB FELT UNDERLAY IS REQUIRED, FLASHING, VALLEY, ACCESSORIES ETC. SHALL COMPLY WITH C.B.C Chapter 15
- FASCIA BOARD:** 2" X 6" WOOD FASCIA BOARD W/ 4 1/2" X 5" GAL. METAL GUTTER & DOWNSPOUTS. ALL DOWNSPOUTS TO BE DISCHARGE DIRECTLY TO LANDSCAPE AREAS OR TERMINATING IN PIPED DRAINAGE SYSTEM - PAINT FASCIA & GUTTER TRIM WITH ACCENT COLOR.
- DOOR & WINDOWS TRIMS:** PROVIDE 4" SLOPING FOAM & MOLDING @ STUCCO AND WOOD TRIM & SILL @ WOOD SIDING WALLS - ALL FINISH TRIM & MOLDING WITH ACCENT COLOR
- ALL WINDOWS & GLASS DOOR:** WINDOWS DOUBLE GLASS PANEL - VINYL & TEMPERATE GLAZING FOR BATHROOM WINDOWS & SLIDING GLASS DOORS - AND WINDOWS LESS TO 18" TO FINISH FLOOR LEVEL AND LESS OF 24" OF ANY CORNER WALL SHALL BE TEMPERATE GLAZING.
- GSM FLASHING @ 2" X 6" BARGE RAFTER W/ACCENT COLOR.
- WATERPROOF EXTERIOR DOWN LIGHT / STYLE BY OWNER - PROVIDE HIGH EFFICACY OR CONTROLLED BY MOTION SENSOR PLUS PHOTO-CONTROL.

DECK MATERIALS NOTE:

- DECK FLOOR & FRAMING:** WOOD DECK BOARD SHALL BE MINIMUM 2X6 REDWOOD PER STATE FIRE MARSHAL LISTING 8110-2104:001 (CATEGORY 8110- DECKING FOR W.U.I.), SOLID WOOD DECKING INSTALLED OVER MINIMUM 2"x6" SOLID " DOUGLAS FIR OR BETTER JOIST, SPACED 24" OR LESS O.C. (REFER TO STRUCTURAL PLAN FOR SPACING & SIZES) ALL DECKING AND JOIST COMPLYING WITH AMERICAN SOFTWOOD LUMBER STANDARD PS20, CLASS B FLAME SPREAD RATING WHEN TESTED IN ACCORDANCE WITH ASTM E84.
- ALL HARDWARE AND FASTENER SHALL BE HOT DIPPED GALVANIZED OR EQUIVALENT.
- ALL FRAMING SHALL BE DECAY RESISTANT i.e., REDWOOD OR PRESSURE TREATED (SEE DECK NOTE 1)

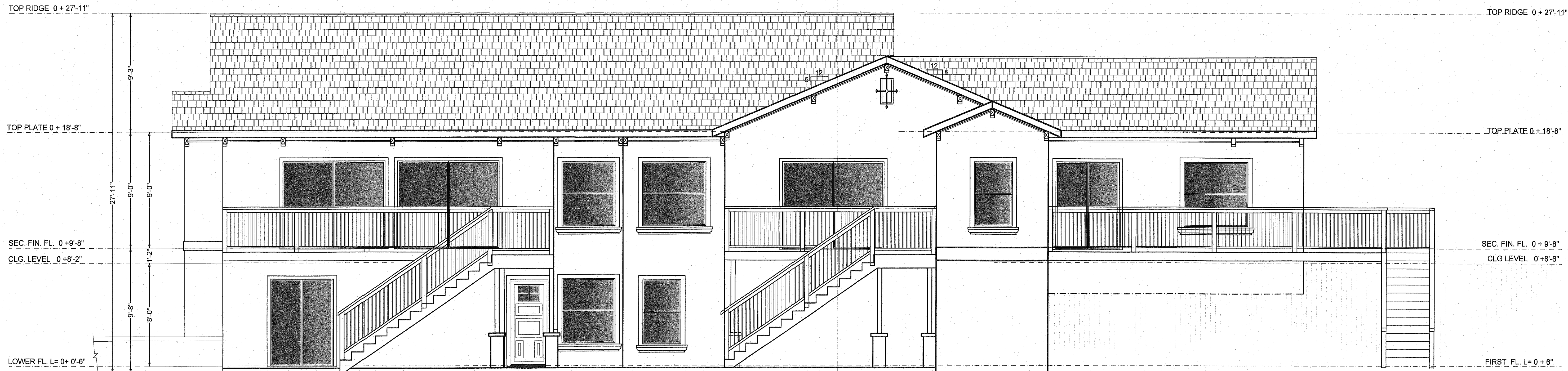
FIRE ZONE DECKING:

THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL BE OF ONE OF THE FOLLOWING: [CRC §R337.9.3]
A. IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 AND 12-7A-5 (MATERIALS SHALL BEAR IDENTIFICATION ISSUED BY ICC-ES OR A TESTING AGENCY RECOGNIZED BY THE STATE FIRE MARSHAL); OR
B. NON-COMBUSTIBLE MATERIALS; OR
C. MATERIALS PASSING PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-4A WHEN THE EXTERIOR WALL COVERING IS ALSO EITHER A NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL. EXCEPTION: WALL MATERIALS MAY BE OF ANY MATERIAL THAT OTHERWISE COMPLIES WITH CRC §R337 WHEN THE DECKING SURFACE MATERIAL COMPLIES WITH THE PERFORMANCE REQUIREMENTS ASTM E 84 WITH A CLASS B FLAME SPREAD RATING.

FOR NEW WINDOWS & GLASS DOORS

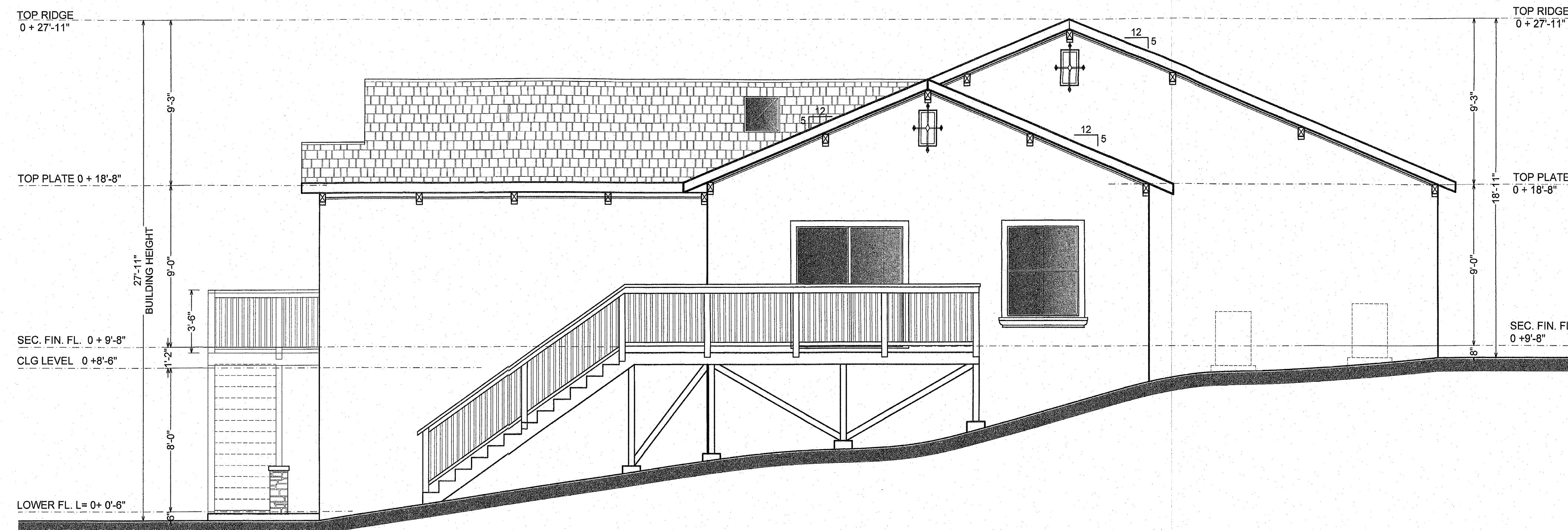
NOTE: EXTERIOR GLAZING WMC 150.01E(b)(IV)

PROVIDE EXTERIOR WINDOWS, WINDOW WALLS, SKYLIGHTS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20-MINUTES, AND CONFORM TO SFM 12-7A-2 AND CBC CHAPTER 24.



(N) REAR ELEVATION

SCALE 1/4"=1'0"



(N) LEFT ELEVATION

SCALE 1/4"=1'0"

ELEVATIONS NOTES.

- ALL EXTERIOR WALL FINISH:** 7/8" THREE COAT STUCCO PLASTER. STUCCO INSTALLATION REQUIREMENTS: 1.a) WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND WHERE APPLIED OVER WOOD-BASED SHEATHING SHALL INCLUDE A WATER-RESISTIVE VAPOR - PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE-D'-PAPER-(R703.6.3). 1.b) PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM-BACKING-(R703.6.2). 1.c) A MINIMUM 28 GALVANIZED CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS, AND THE SCREED SHALL BE PLACED A MINIMUM OF INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.
 - CULTURAL STONE:** PROVIDE CULTURAL STONE OVER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR - PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE-D'-PAPER-(R703.6.3). - INSTALLED PER MANUFACTURED REQUIREMENTS
 - MOLDING OVER TO VENEER BAND:** PROVIDE THK. 4" SLOPING FOAM MOLDED OWALL 36" HEIGHT TO GROUND WITH STUCCO AND ACCENT COLOR(TYPICAL)U.N.O.
 - ROOF COVERINGS AND ASSEMBLIES:** ROOF COVERING FIRE RATINGS ARE CLASS A, B, C, OR UNRATED, WITH CLASS A PROVIDING THE BEST PERFORMANCE. COMMON CLASS A ROOF COVERINGS INCLUDE ASPHALT FIBERGLASS COMPOSITION SHINGLES, CONCRETE, AND FLAT/BARREL-SHAPED TILES. SOME MATERIALS HAVE A 'BY ASSEMBLY' CLASS A FIRE RATING WHICH MEANS ADDITIONAL MATERIALS MUST BE USED BETWEEN THE ROOF COVERING AND SHEATHING TO ATTAIN THAT RATING. EXAMPLES OF ROOF COVERINGS WITH A 'BY ASSEMBLY' FIRE RATING INCLUDE ALUMINUM, RECYCLED PLASTIC AND RUBBER, AND SOME FIRE-RETARDANT WOOD SHAKE PRODUCTS. IF A WOOD SHAKE ROOF DOES NOT HAVE THE MANUFACTURER'S DOCUMENTATION SPECIFYING THE FIRE-RETARDANT, ASSUME IT'S UNTREATED NEW ROOF TO LIGHT CHARCOAL COLOR - ROOFING TO I.C.B.O. CERTIFICATED AND INSTALLED PER MFG'S REQUIREMENTS - INSTALLATION OF TWO LAYER OF TYPE 20 LB FELT UNDERLAY IS REQUIRED, FLASHING, VALLEY, ACCESSORIES ETC. SHALL COMPLY WITH C.B.C Chapter 15
 - FASCIA BOARD:** 2" X 6" WOOD FASCIA BOARD W/ 4 1/2" X 5" GAL METAL GUTTER & DOWNSPOUTS. ALL DOWNSPOUT TO BE DISCHARGE DIRECTLY TO LANDSCAPE AREAS OR TERMINATING IN PIPED DRAINAGE SYSTEM - PAINT FASCIA & GUTTER TRIM WITH ACCENT COLOR.
 - DOOR & WINDOWS TRIMS:** PROVIDE 4" SLOPING FOAM & MOLDING @ STUCCO AND WOOD TRIM & SILL @ WOOD SIDING WALLS - ALL FINISH TRIM & MOLDING WITH ACCENT COLOR
 - ALL WINDOWS & GLASS DOOR:** WINDOWS DOUBLE GLASS PANEL - VINYL & TEMPERATE GLAZING FOR BATHROOM WINDOWS & SLIDING GLASS DOORS - AND WINDOWS LESS TO 18" TO FINISH FLOOR LEVEL AND LESS OF 24" OF ANY CORNER WALL SHALL BE TEMPERATE GLAZING.
 - GSM FLASHING** 6/2"x6" BARGE RAFTER W/ACCENT COLOR.
 - WATERPROOF EXTERIOR DOWN LIGHT / STYLE BY OWNER - PROVIDE HIGH EFFICACY OR CONTROLLED BY MOTION SENSOR PLUS PHOTO-CONTROL.**
- FOR NEW WINDOWS & GLASS DOORS**
NOTE: EXTERIOR GLAZING WMC 150.01E(b)(IV)
 PROVIDE EXTERIOR WINDOWS, WINDOW WALLS, SKYLIGHTS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20-MINUTES, AND CONFORM TO SFM 12-7A-2 AND CBC CHAPTER 24.

KEY NOTES:

- STAIR NOTES:** TREAD NOSINGS FOR STAIRWAYS WITH SOLID RISERS(WHEN TREADS ARE LESS THAN 11")SHALL BE BETWEEN 0.75" AND 1.25" MIN. - STAIR WIDTH SHALL BE 36" U.N.O.
 - STAIRWAY:** RISE SHALL BE 4" MIN AND 7.75" MAX. RUN SHALL BE 10" MIN. HEADROOM SHALL BE 80" MIN. WIDTH SHALL BE 36" MINIMUM. HANDRAILS SHALL PROVIDE GRASPABILITY AND BE 34"-38" ABOVE TREAD NOSING WITH OPENINGS LESS THAN 4 3/8" CLEAR, EXCEPT OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL OF THE GUARD MAY BE 6" MAXIMUM DIAMETER. (R 311.7 & R312.3 EX)
 - THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. WIDTH AND LENGTH OF LANDINGS SHALL BE NOT LESS THAN THE WIDTH OF THE STAIRWAY SERVED. A FLOOR OR LANDING IS NOT REQUIRED AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, INCLUDING STAIRS IN AN ENCLOSED GARAGE, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS.(R311.7.6)
 - GUARDS/RAILING (DECK AREA) SHALL BE LOCATED ALONG OPEN SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS, LANDINGS, AND DECKS THAT ARE MORE THAN 30" ABOVE THE FLOOR OR GRADE, MEASURED AT ANY POINT WITHIN 36" HORIZONTALLY. REQUIRED GUARDS SHALL BE NOT LESS THAN 42" ABOVE THE ADJACENT WALKING SURFACE, EXCEPT THAT HANDRAILS MAY BE CONSIDERED AS GUARDS AT STAIRWAYS. OPENINGS GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 3/8 INCHES IN DIAMETER CANNOT PASS THROUGH (CRC Sec. R312)
 - DOORS, STAIRWAYS AND LANDINGS (INCLUDING DECKS) REQUIRED EGRESS DOOR SHALL BE SIDE HINGED AND HAVE A MINIMUM NET CLEAR WIDTH OF 32" AND A MINIMUM HEIGHT OF 78" (R311.2) THERE SHALL BE A LANDING AT EACH SIDE OF ALL DOORS NOT MORE THAN 1 1/2" LOWER THAN THE THRESHOLD AT THE REQUIRED EGRESS DOOR, AND NOT MORE THAN 7 3/4" FOR OTHER EXTERIOR DOORS. THE LANDING SHALL BE AT LEAST AS WIDE AS THE DOOR SERVED AND 36" MINIMUM LENGTH MEASURED IN THE DIRECTION OF TRAVEL. A LANDING IS NOT REQUIRED AT DOORS OTHER THAN THE REQUIRED EGRESS DOOR WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR OF THE DOOR.
 - DECK, BALCONIES FRAMING:** SUPPORT POSTS AND OTHER LUMBER EXPOSED TO THE WEATHER SHALL BE OF PRESERVATIVE-TREATED OR DECAY-RESISTANT LUMBER (CRC R317.1)- HARDWARE AND FASTENERS SHALL BE HOT-DIPPED GALVANIZED, STAINLESS STEEL, SILICON BRONZE, OR COPPER (CRC R317.3.1). SPANS FOR DECKING, DECK FRAMING AND DECK BEAMS SHALL NOT EXCEED THE ALLOWABLE VALUES IN TABLES R507.4, R507.5, R507.6 AND R507.8
- DECK MATERIALS NOTE:**
- DECK FLOOR & FRAMING:** WOOD DECK BOARD SHALL BE MINIMUM 2X6 REDWOOD PER STATE FIRE MARSHAL LISTING 8110-2104.001 (CATEGORY 8110- DECKING FOR W.U.I.), SOLID WOOD DECKING INSTALLED OVER MINIMUM 2"x6" SOLID " DOUGLAS FIR OR BETTER JOIST, SPACED 24" OR LESS O.C. (REFER TO STRUCTURAL PLAN FOR SPACING & SIZES) ALL DECKING AND JOIST COMPLYING WITH AMERICAN SOFTWOOD LUMBER STANDARD PS20, CLASS B FLAME SPREAD RATING WHEN TESTED IN ACCORDANCE WITH ASTM E84
 - ALL HARDWARE AND FASTENERS SHALL BE HOT DIPPED GALVANIZED OR EQUIVALENT
 - ALL FRAMING SHALL BE DECAY RESISTANT i.e., REDWOOD OR PRESSURE TREATED (SEE DECK NOTE 1)

FIRE ZONE DECKING:

THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL BE ONE OF THE FOLLOWING: [CRC §R337.9.3]

- IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 AND 12-7A-5 (MATERIALS SHALL BEAR IDENTIFICATION ISSUED BY ICC-ES OR A TESTING AGENCY RECOGNIZED BY THE STATE FIRE MARSHAL); OR
- NON-COMBUSTIBLE MATERIALS; OR
- MATERIALS PASSING PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-4A WHEN THE EXTERIOR WALL COVERING IS ALSO EITHER A NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL. EXCEPTION: WALL MATERIALS MAY BE OF ANY MATERIAL THAT OTHERWISE COMPLIES WITH CRC §R337 WHEN THE DECKING SURFACE MATERIAL COMPLIES WITH THE PERFORMANCE REQUIREMENTS ASTM E 84 WITH A CLASS B FLAME SPREAD RATING.

HOUSE ATTIC VENTILATION CALC.

1- ROOF AREA = 3268 Sq. Ft.
ROOF VENT. PER CBC. NET AREA OPENING MIN. ALLOWED IS 1/150 OF NET AREA.
CALC = 3268 / 150 = 21.78 SQ. FT. REQUIRED = 22 SQ. FT.
PROPOSED:
2" Ø HOLES IN SOLID BLK BETWEEN AROUND ROOF @ TRUSS FOR ATTIC VENT.
* 2" Ø EACH = 0.0218 SF2 * (3 HOLES PER BLK MAXIMUM) HOLES @ 2 TRUSSES
TOTAL ATTIC VENT AREA REQUIRED:
ROOF = 22.0 Sq. Ft.

Table with 5 columns: ROOF LOCATION, VENT TYP, QUANT., AREA EACH (Sq Ft), SUB TOTAL AREA (Sq Ft)

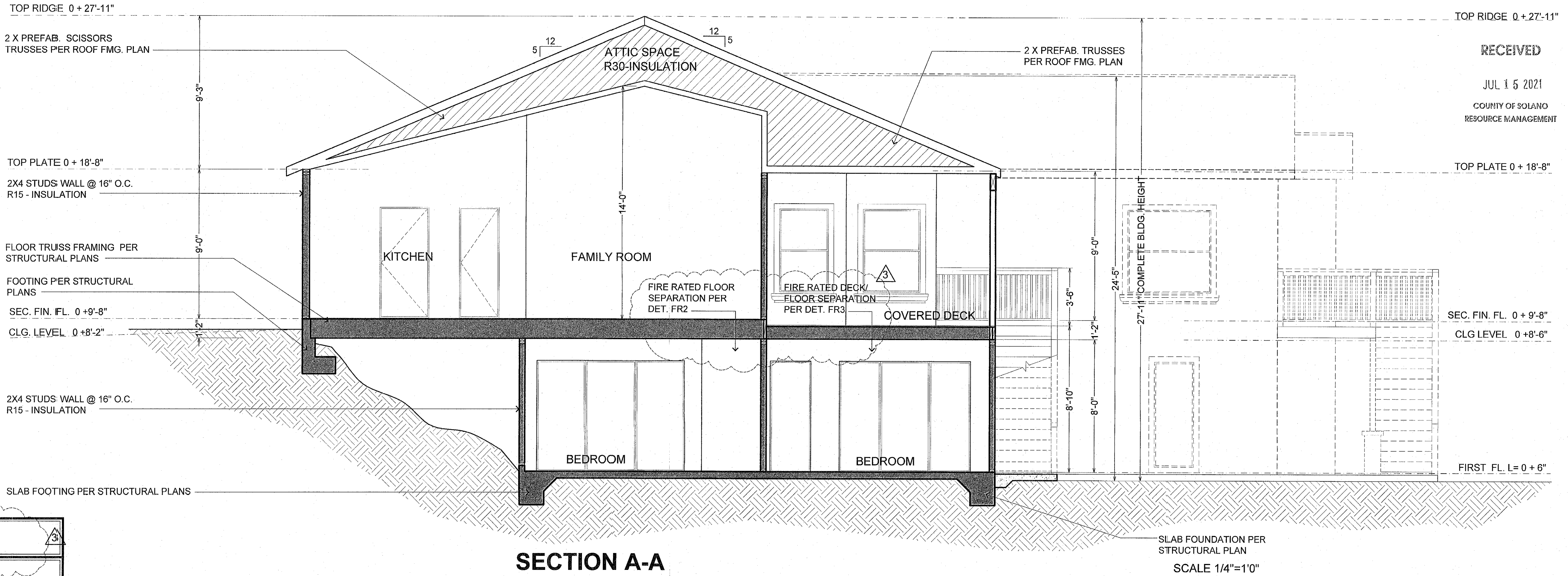
TOTAL ATTIC VENT AREA PROPOSED: 22.27 Sq. Ft.
NOTE: - ALL OPENING IN ROOF FRAMING MEMBERS (NOTCHING AND CUTTING) SHALL BE CONFORM WITH CRC SECTION R802.7
- VENTILATION OPENINGS SHALL BE PROVIDED WITH CORROSION RESISTANT WIRE CLOTHING SCREENING HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENING HAVING LEAST DIMENSION OF MINIMUM 1/16" AND MAXIMUM 1/4" PER CRC R806.1

ACCESSORY BLDG ATTIC VENTILATION CALC.

1- ROOF AREA = 900 Sq. Ft.
ROOF VENT. PER CBC. NET AREA OPENING MIN. ALLOWED IS 1/150 OF NET AREA.
CALC = 900 / 150 = 6.0 SQ. FT. REQUIRED = 22 SQ. FT.
PROPOSED:
2" Ø HOLES IN SOLID BLK BETWEEN AROUND ROOF @ TRUSS FOR ATTIC VENT.
* 2" Ø EACH = 0.0218 SF2 * (3 HOLES PER BLK MAXIMUM) HOLES @ 2 TRUSSES
TOTAL ATTIC VENT AREA REQUIRED:
ROOF = 6.0 Sq. Ft.

Table with 5 columns: ROOF LOCATION, VENT TYP, QUANT., AREA EACH (Sq Ft), SUB TOTAL AREA (Sq Ft)

TOTAL ATTIC VENT AREA PROPOSED: 7.90 Sq. Ft.
NOTE: - ALL OPENING IN ROOF FRAMING MEMBERS (NOTCHING AND CUTTING) SHALL BE CONFORM WITH CRC SECTION R802.7
- VENTILATION OPENINGS SHALL BE PROVIDED WITH CORROSION RESISTANT WIRE CLOTHING SCREENING HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENING HAVING LEAST DIMENSION OF MINIMUM 1/16" AND MAXIMUM 1/4" PER CRC R806.1

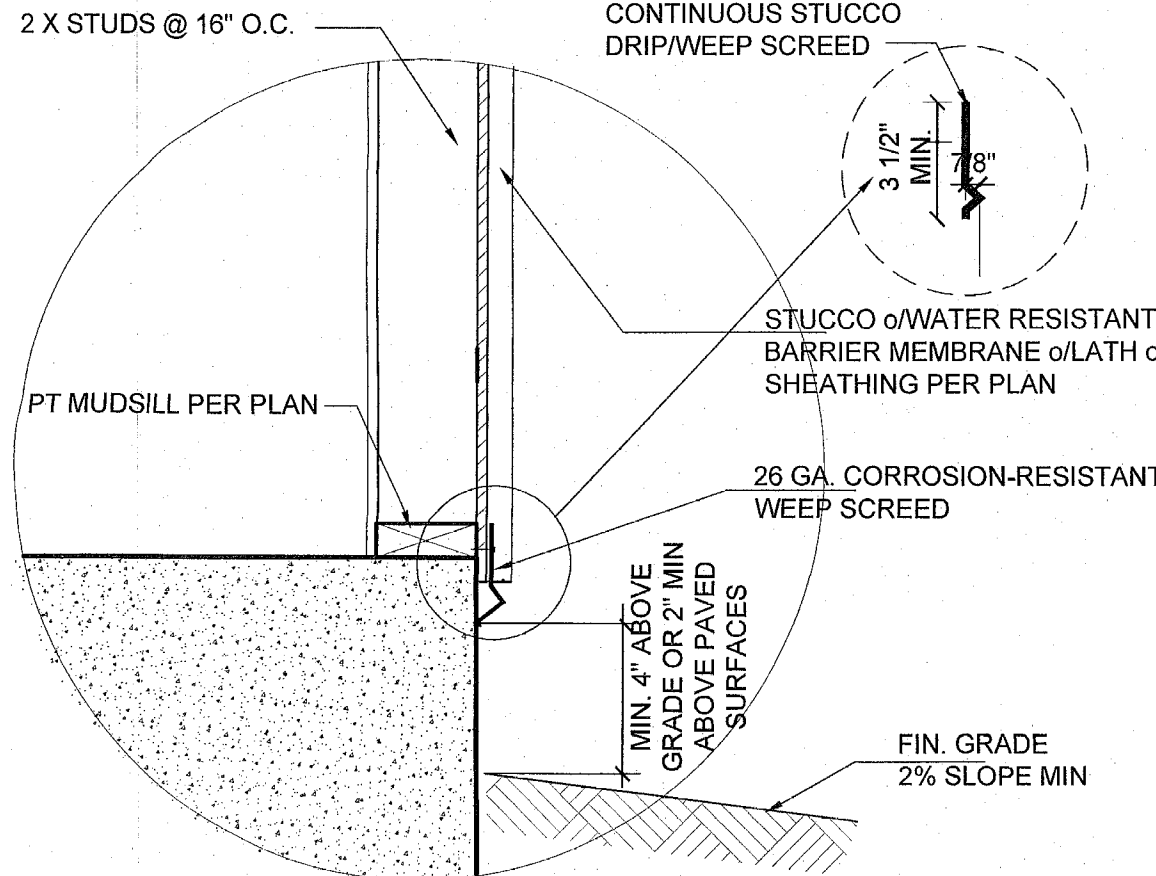


SECTION A-A

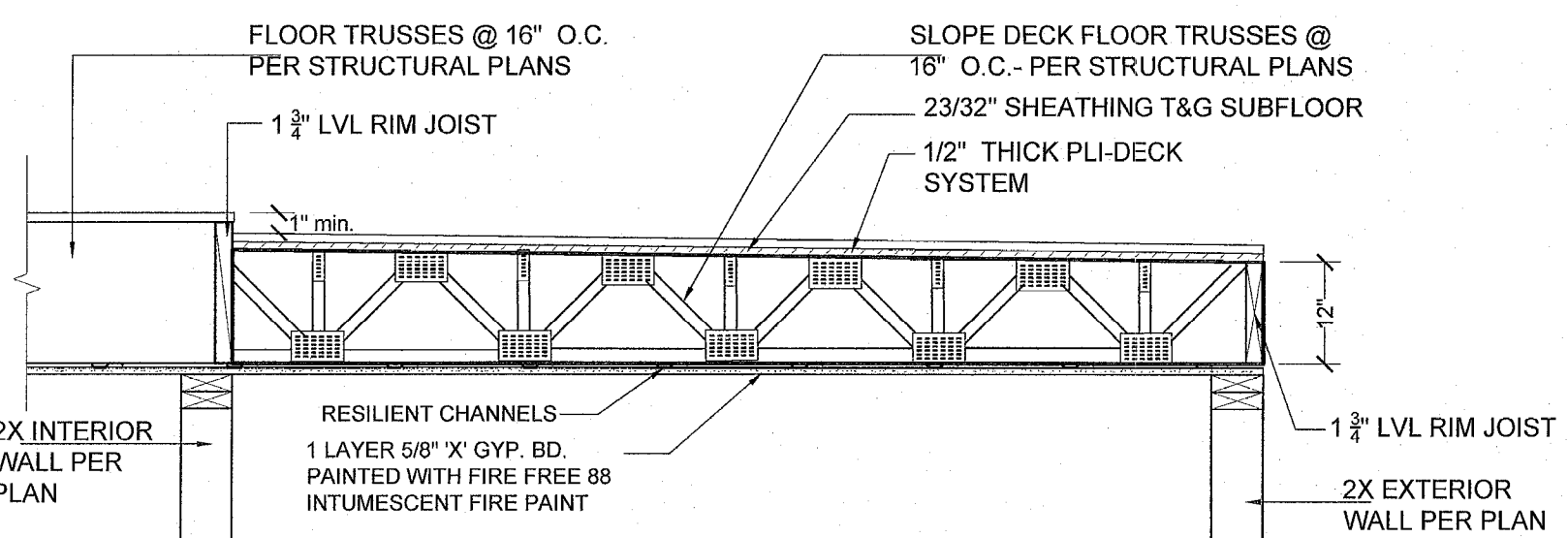
Labels and dimensions for Section A-A: TOP RIDGE 0 + 27'-11", 2 X PREFAB. SCISSORS TRUSSES PER ROOF FMG. PLAN, ATTIC SPACE R30-INSULATION, 2 X PREFAB. TRUSSES PER ROOF FMG. PLAN, RECEIVED, JUL 15 2021, COUNTY OF SOLANO RESOURCE MANAGEMENT, TOP PLATE 0 + 18'-8", 2X4 STUDS WALL @ 16" O.C. R15 - INSULATION, FLOOR TRUSS FRAMING PER STRUCTURAL PLANS, FOOTING PER STRUCTURAL PLANS, SEC. FIN. FL. 0 + 9'-8", CLG. LEVEL 0 + 8'-2", 2X4 STUDS WALL @ 16" O.C. R15 - INSULATION, SLAB FOOTING PER STRUCTURAL PLANS, SLAB FOUNDATION PER STRUCTURAL PLAN, SCALE 1/4"=1'0"

DOOR SPECIFICATIONS: American Series, FLUSH MINERAL CORE 45-60-90 MINUTE RATED. Includes technical specifications, materials list, and manufacturer information (ABS - Manufacturing).

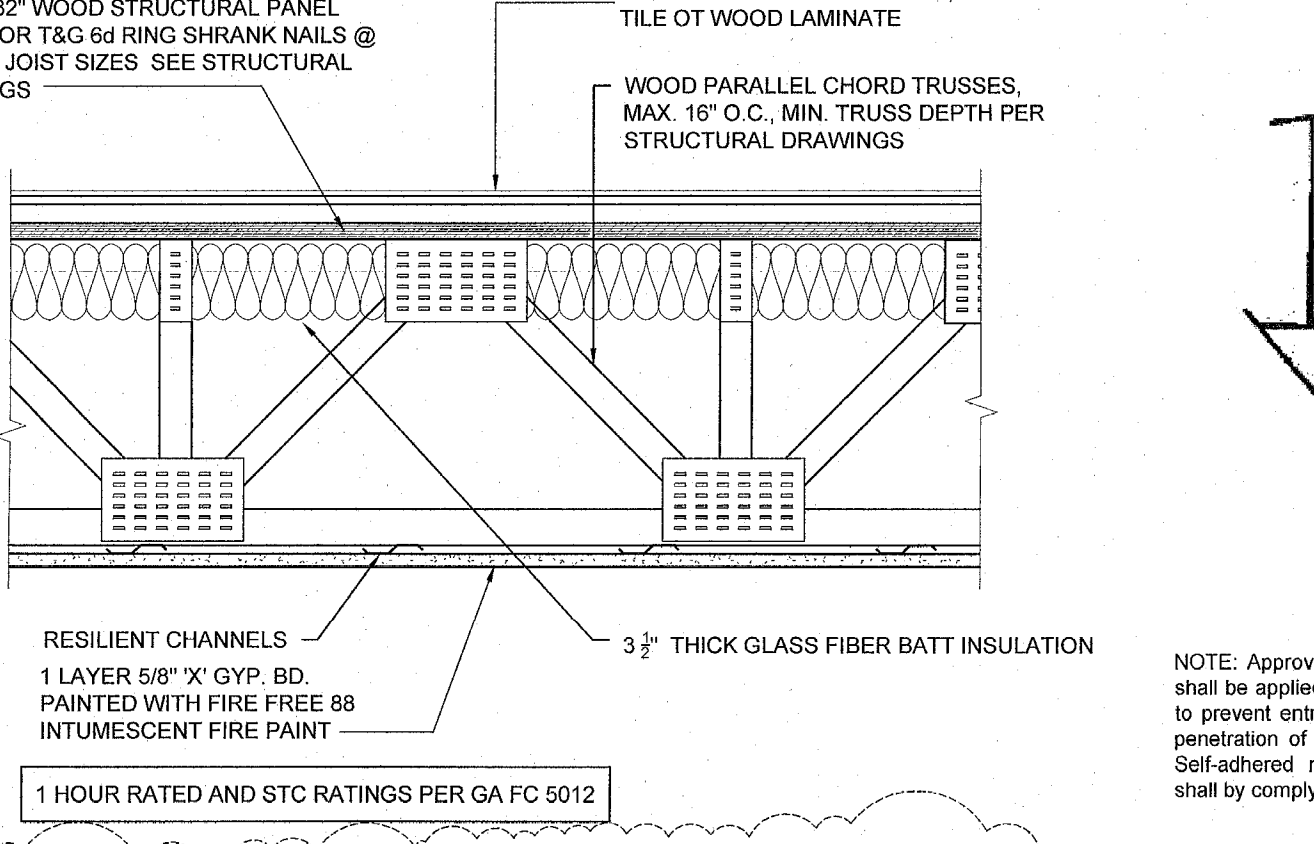
WALLS AND INTERIOR PARTITIONS, WOOD FRAMED. FR-1 ONE HOUR FIRE RATED INTERIOR WALL PARTITION FOR GARAGE SEPARATION AND STAIRS CASE WALLS. Includes material specifications and manufacturer notes.



TYP. BASE OF STUCCO WALL @ FOOTING



FR-3 FIRE RATED DECK TRUSS FLR. ASSEMBLY W/ FIREFREE 88 INTUMESCENT FIRE RESISTANT PAINT ON THE CEILING BELOW THE DECK FRAMING

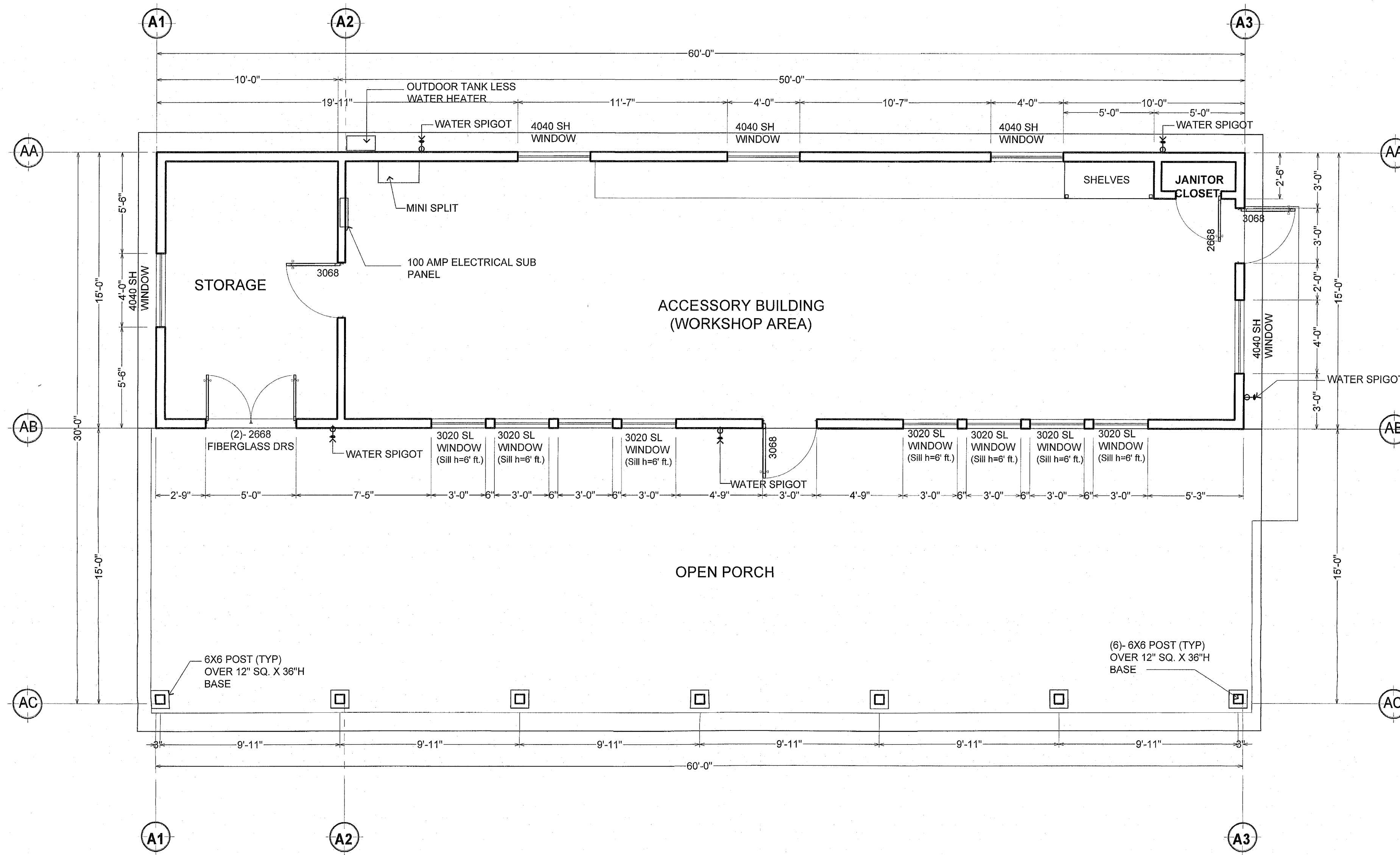


FR-2 ONE HOUR TRUSS FLOOR - CEILING ASSEMBLY

- FLOOR PLAN KEY NOTES: 1. PROVIDE A 1 HOUR FIRE RATED IS REQUIRED TO COMPLETELY SEPARATE THE RESIDENCE AND THE ATTACHED GARAGE... 2. TWO-FAMILY DWELLINGS SHALL BE SEPARATED BY WALL AND FLOOR ASSEMBLIES HAVING NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING... 11. PROVIDE BUILDING NUMBERS IDENTIFICATION PLACED IN A POSITION THAN IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET... 12. PROVIDE BETWEEN THE DWELLING AND GARAGE SOLID WOOD DOOR NOT LESS THAN 1 3/8" THICK... 13. PROVIDE FOR STAIRS CASE DOOR SEPARATION TO UPPER UNIT AND LOWER UNIT AT MIN. 1 3/8" THICK... 14. DOORS, STAIRWAYS AND LANDINGS (INCLUDING DECKS) REQUIRED EGRESS DOOR SHALL BE SIDE HINGED... 15. STAIRWAY : RISE SHALL BE 4" MIN AND 7.75" MAX. RUN SHALL BE 10" MIN. HEADROOM SHALL BE 80" MINIMUM... 16. ENCLOSED USEABLE SPACE UNDER INTERIOR STAIRS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD... 17. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY... 18. GUARDS SHALL BE LOCATED ALONG OPEN SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS, LANDINGS, AND DECKS...

- GENERAL NOTES FOR ALL DETAILS: A. All details explained for clarity - not to scale. B. All details represent typical installations - see manufacturer's installation manual for additional details. C. Installation by designated licensed trade contractor(s) in accordance with plans, specifications, this report and all applicable building codes and regulations.
KEYNOTES:
1. Three Coat stucco plaster
2. 4" x 20 gauge wire mesh (Lath)
3. Insulation board
4. Grade "D" building paper or other approved weather resistant membrane
5. Caulk
6. Termination screed at foundation
7. Termination screed (Min. 4" above grade or 2" above paved)
8. Sheathing per plan

TERMINATION WEEP SCREED



ACCESSORY BUILDING PLAN

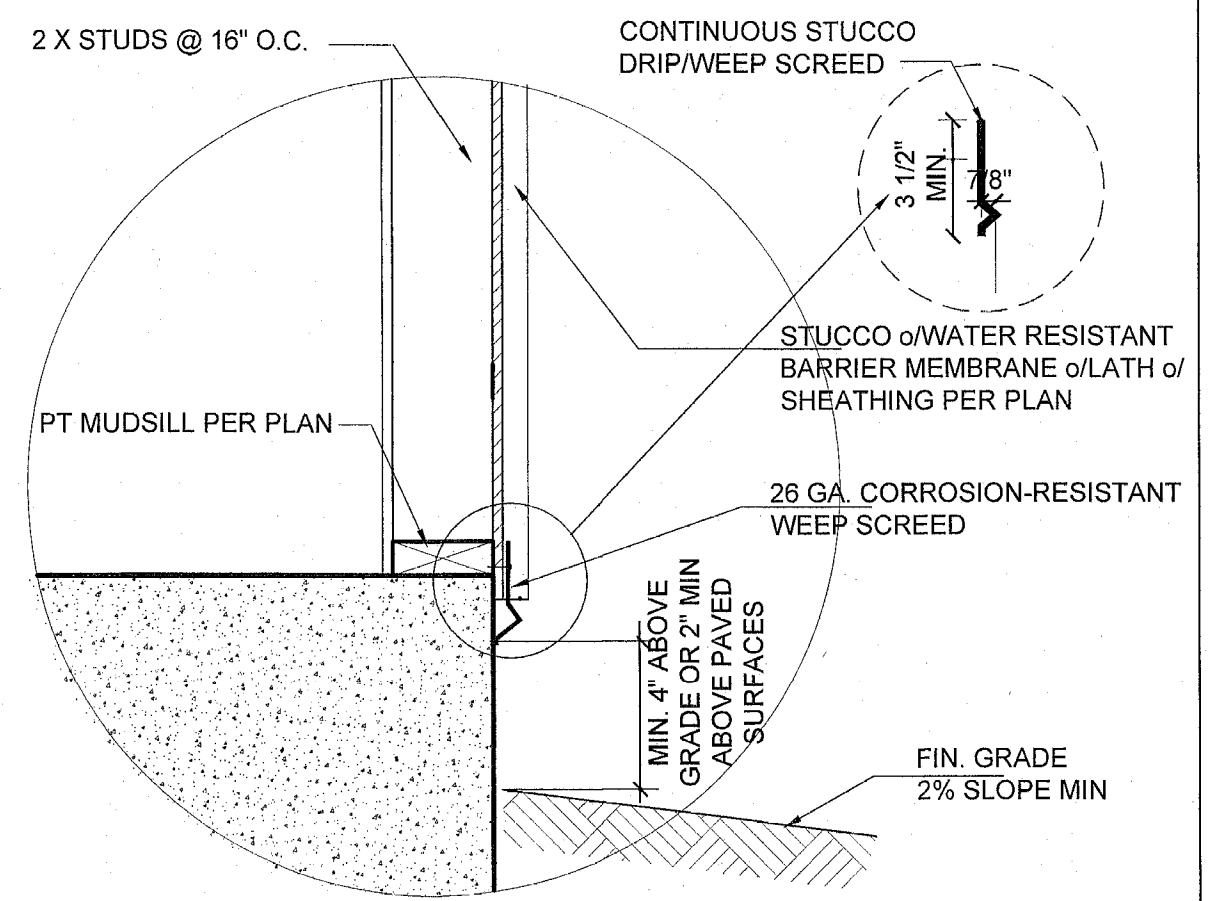
NOTE:

1- ALL PERIMETER 2X6 @ 16" O.C.

2- PROPOSED STRUCTURE USES: WORKSHOP AREA FOR PRIVATE USES LIKE SMALL FURNITURE REPAIR, SMALL MANUFACTURING RUNS, SOME PAINT WORK, ETC, AND STORAGE HAND TOOLS, POWER TOOLS OTHER HARDWARE

SCALE 1/4"=1'0"

Solano County Dept. of Resource Management
 Planning Services Division Approved
 Application No: 2021-0604 and 610
 Date Approved: 6/22/21
 Approved By: [Signature]
 Conditionally Approved

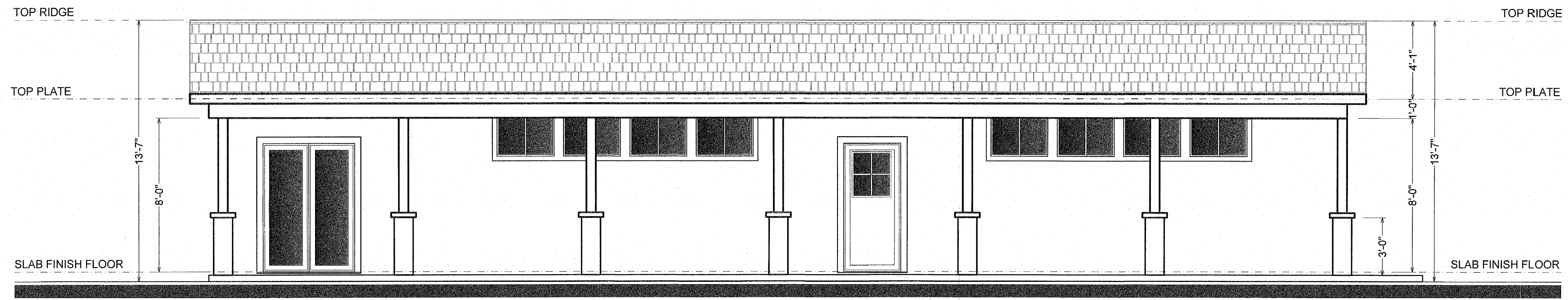


TYP. BASE OF STUCCO WALL @ FOOTING

1. WINDOWS & GLASS DOORS, EXTERIOR GLAZING WMC 155.01E(1)(V)--- PROVIDE FOR ALL EXTERIOR WINDOWS, GLASS BLOCK, WALLS, SKYLIGHTS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS WITH A MINIMUM OF ONE TEMPERED PANEL, OR GLASS BLOCK UNITS, OR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20-MINUTES, AND CONFORM TO SFM 12-7A-2 AND CBC CHAPTER 24.
2. PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A WALKING SURFACE & EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR FOR WINDOWS AND DOOR (PROVIDE TEMPERATE GLAZING) SEE NOTE #1
3. ALL EXTERIOR DOOR IS TO BE SOLID CORE 1 3/4" DOORS AND OF THE TYPE AND DESIGN SHOWN ON THE ELEVATIONS AND FLOORS PLANS WITH WEATHERPROOF TIGHT FIT.
4. ALL EXTERIOR DOORS TO PATIOS, PORCHES SHALL BE PROVIDED 36" OUTSIDE LANDING. THE WIDTH OF THE LANDING SHALL BE NOT LESS THAN THE DOOR WIDTH AND 36" MINIMUM DEPTH. LANDING AT REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1 - 3/4" LOWER THAN THE TOP OF THRESHOLD. Exception: A DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7 3/4" LOWER THAN THE FLOOR LEVEL IF THE DOOR DOES NOT SWING OVER THE LANDING. (CRC R311.3.1 & R311.3.2)
5. PROVIDE FIRE-BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENING (VERTICAL AND HORIZONTAL) TO FROM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE. (CRC R302.11)
6. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. WIDTH AND LENGTH OF LANDINGS SHALL BE NOT LESS THAN THE WIDTH OF THE STAIRWAY SERVED. A FLOOR OR LANDING IS NOT REQUIRED AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, INCLUDING STAIRS IN AN ENCLOSED GARAGE, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS. (R311.7.6)

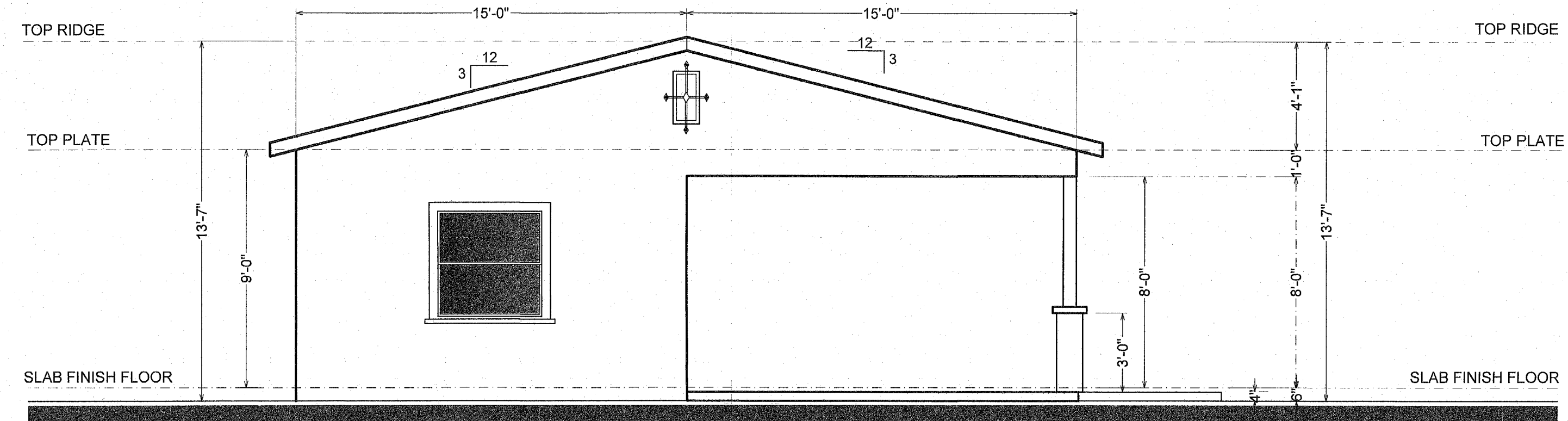
ELEVATIONS NOTES.

1. ALL EXTERIOR WALL FINISH: 7/8" THREE COAT STUCCO PLASTER - STUCCO INSTALLATION REQUIREMENTS:
 1.a) WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE-D-PAPER (R703.6.3).
 1.b) PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM-BACKING (R703.6.2).
 1.c) A MINIMUM 26 GALVANIZED CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS, AND THE SCREED SHALL BE PLACED A MINIMUM OF INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.
2. ROOF COVERINGS AND ASSEMBLIES: ROOF COVERING FIRE RATINGS ARE CLASS A, B, C, OR UNRATED, WITH CLASS A PROVIDING THE BEST PERFORMANCE. COMMON CLASS A ROOF COVERINGS INCLUDE ASPHALT FIBERGLASS COMPOSITION SHINGLES, CONCRETE, AND FLAT/BARREL-SHAPED TILES. SOME MATERIALS HAVE A "BY ASSEMBLY" CLASS A FIRE RATING WHICH MEANS ADDITIONAL MATERIALS MUST BE USED BETWEEN THE ROOF COVERING AND SHEATHING TO ATTAIN THAT RATING. EXAMPLES OF ROOF COVERINGS WITH A "BY ASSEMBLY" FIRE RATING INCLUDE ALUMINUM, RECYCLED PLASTIC AND RUBBER, AND SOME FIRE-RETARDANT WOOD SHAKE PRODUCTS. IF A WOOD SHAKE ROOF DOES NOT HAVE THE MANUFACTURER'S DOCUMENTATION SPECIFYING THE FIRE RETARDANT, ASSUME IT'S UNTREATED. NEW ROOF TO BE LIGHT CHARCOAL COLOR - ROOFING TO I.C.B.O. CERTIFICATED AND INSTALLED PER MFG'S REQUIREMENTS - INSTALLATION OF TWO LAYER OF TYPE 20 LB FELT UNDERLAY IS REQUIRED, FLASHING, VALLEY, ACCESSORIES ETC. SHALL COMPLY WITH C.B.C Chapter 15
3. FASCIA BOARD: 2" X 6" WOOD FASCIA BOARD W/ 4 1/2" X 5" GAL METAL GUTTER & DOWNSPOUTS. ALL DOWNSPOUT TO BE DISCHARGE DIRECTLY TO LANDSCAPE AREAS OR TERMINATING IN PIPED DRAINAGE SYSTEM - PAINT FASCIA & GUTTER TRIM WITH ACCENT COLOR.
4. DOOR & WINDOW TRIMS: PROVIDE 4" SLOPING FOAM & MOLDING @ STUCCO AND WOOD TRIM & SILL @ WOOD SIDING WALLS - ALL FINISH TRIM & MOLDING WITH ACCENT COLOR
5. GSM FLASHING @ 2" X 6" BARGE RAFTER W/ ACCENT COLOR.
6. WATERPROOF EXTERIOR DOWN LIGHT / STYLE BY OWNER - PROVIDE HIGH EFFICACY OR CONTROLLED BY MOTION SENSOR PLUS PHOTO-CONTROL.



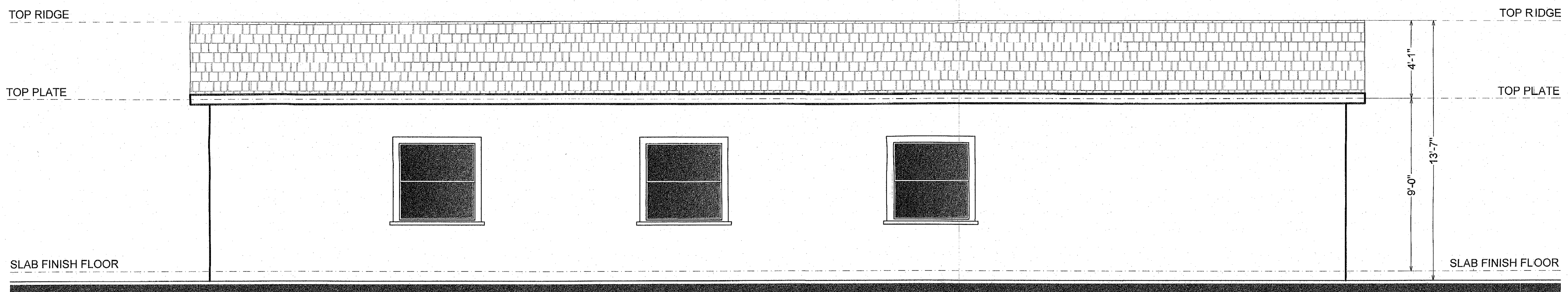
ACCESSORY BLDG FRONT ELEVATION

SCALE 1/4"=1'0"

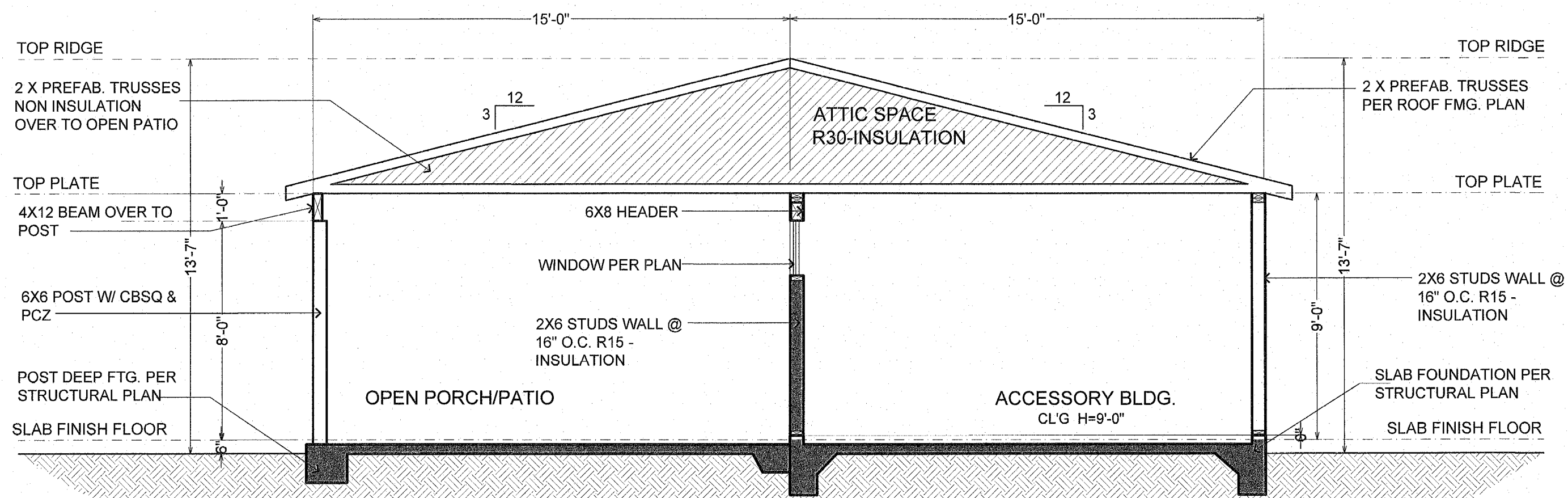


ACCESSORY BLDG. LEFT ELEVATION

SCALE 1/4"=1'0"

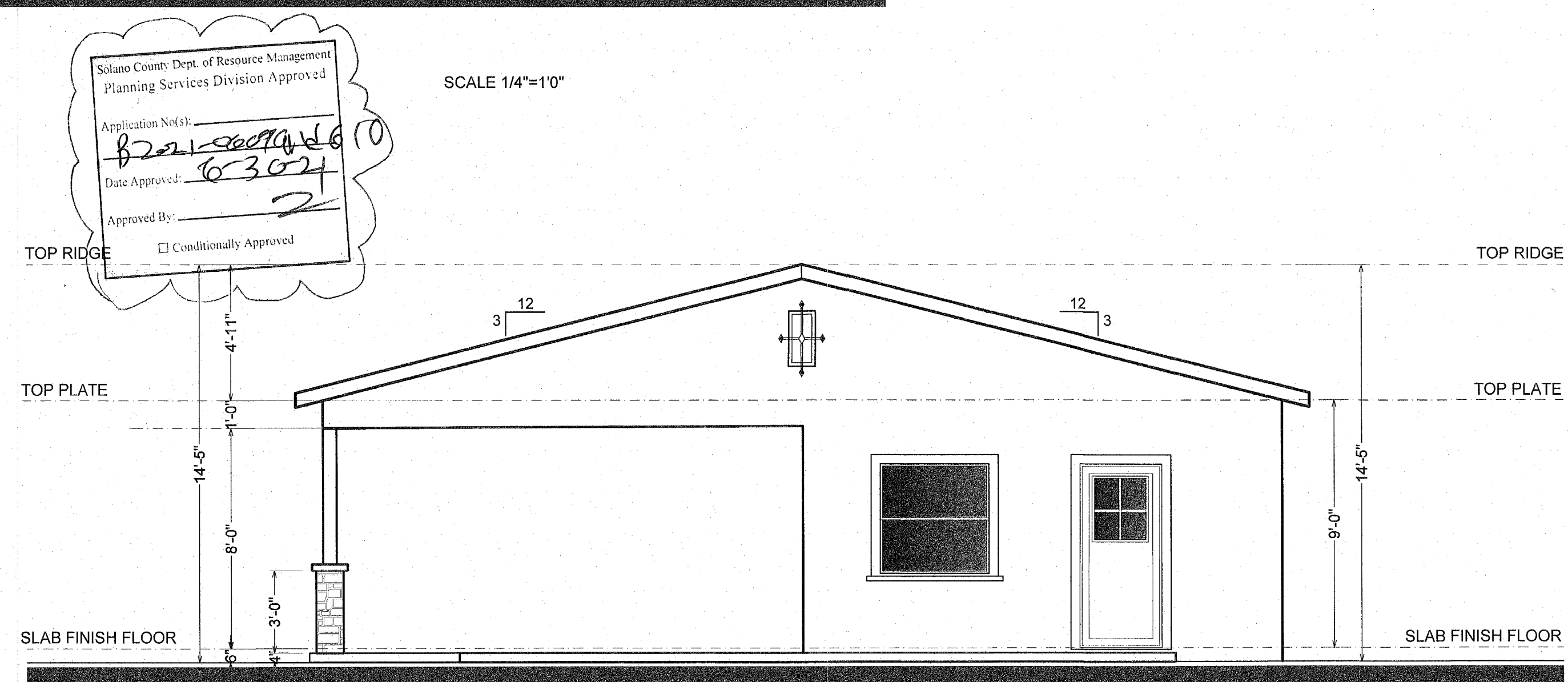


ACCESSORY BLDG. REAR ELEVATION



ACCESSORY BLDG. SECTION A-A

SCALE 1/4"=1'0"



ACCESSORY BLDG. RIGHT ELEVATION

SCALE 1/4"=1'0"

ELEVATIONS NOTES.

- ALL EXTERIOR WALL FINISH** :7/8" THREE COAT STUCCO PLASTER
 1.a) WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR - PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE-D PAPER (R703.6.3).
 1.b) PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM-BACKING (R703.6.2).
 1.c) A MINIMUM 26 GALVANIZED CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS, AND THE SCREED SHALL BE PLACED A MINIMUM OF INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.
- CULTURAL STONE**: PROVIDE CULTURAL STONE OVER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR - PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE-D PAPER (R703.6.3).
 - INSTALLED PER MANUFACTURED REQUIREMENTS
- MOLDING OVER TO VENEER BAND**: PROVIDE THK. 4" SLOPING FOAM MOLDED OWALL 36" HEIGHT TO GROUND WITH STUCCO AND ACCENT COLOR (TYPICAL) U.N.O.
- ROOF COVERINGS AND ASSEMBLIES**: ROOF COVERING FIRE RATINGS ARE CLASS A, B, C, OR UNRATED, WITH CLASS A PROVIDING THE BEST PERFORMANCE. COMMON CLASS A ROOF COVERINGS INCLUDE ASPHALT FIBERGLASS COMPOSITION SHINGLES, CONCRETE, AND FLAT/BARREL-SHAPED TILES. SOME MATERIALS HAVE A "BY ASSEMBLY" CLASS A FIRE RATING WHICH MEANS ADDITIONAL MATERIALS MUST BE USED BETWEEN THE ROOF COVERING AND SHEATHING TO ATTAIN THAT RATING. EXAMPLES OF ROOF COVERINGS WITH A "BY ASSEMBLY" FIRE RATING INCLUDE ALUMINUM, RECYCLED PLASTIC AND RUBBER, AND SOME FIRE-RETARDANT WOOD SHAKE PRODUCTS. IF A WOOD SHAKE ROOF DOES NOT HAVE THE MANUFACTURER'S DOCUMENTATION SPECIFYING THE FIRE-RETARDANT, ASSUME IT'S UNTREATED. NEW ROOF TO BE LIGHT CHARCOAL COLOR - ROOFING TO I.C.B.O. CERTIFICATED AND INSTALLED PER MFG'S REQUIREMENTS - INSTALLATION OF TWO LAYER OF TYPE 20 LB FELT UNDERLAY IS REQUIRED, FLASHING, VALLEY, ACCESSORIES ETC. SHALL COMPLY WITH C.B.C Chapter 15
- FASCIA BOARD**: 2" X 6" WOOD FASCIA BOARD W/ 4 1/2" X 5" GAL. METAL GUTTER & DOWNSPOUTS, ALL DOWNSPOUT TO BE DISCHARGE DIRECTLY TO LANDSCAPE AREAS OR TERMINATING IN PIPED DRAINAGE SYSTEM - PAINT FASCIA & GUTTER TRIM WITH ACCENT COLOR.
- DOOR & WINDOWS TRIMS**: PROVIDE 4" SLOPING FOAM & MOLDING @ STUCCO AND WOOD TRIM & SILL @ WOOD SIDING WALLS - ALL FINISH TRIM & MOLDING WITH ACCENT COLOR
- ALL WINDOWS & GLASS DOOR**: WINDOWS DOUBLE GLASS PANEL - VINYL & TEMPERATE GLAZING FOR BATHROOM WINDOWS & SLIDING GLASS DOORS - AND WINDOWS LESS TO 18" TO FINISH FLOOR LEVEL AND LESS OF 24" OF ANY CORNER WALL SHALL BE TEMPERATE GLAZING.
- GSM FLASHING @ 2"x6" BARGE RAFTER W/ ACCENT COLOR.
- WATERPROOF EXTERIOR DOWN LIGHT / STYLE BY OWNER - PROVIDE HIGH EFFICACY OR CONTROLLED BY MOTION SENSOR PLUS PHOTO-CONTROL.

FOR NEW WINDOWS & GLASS DOORS

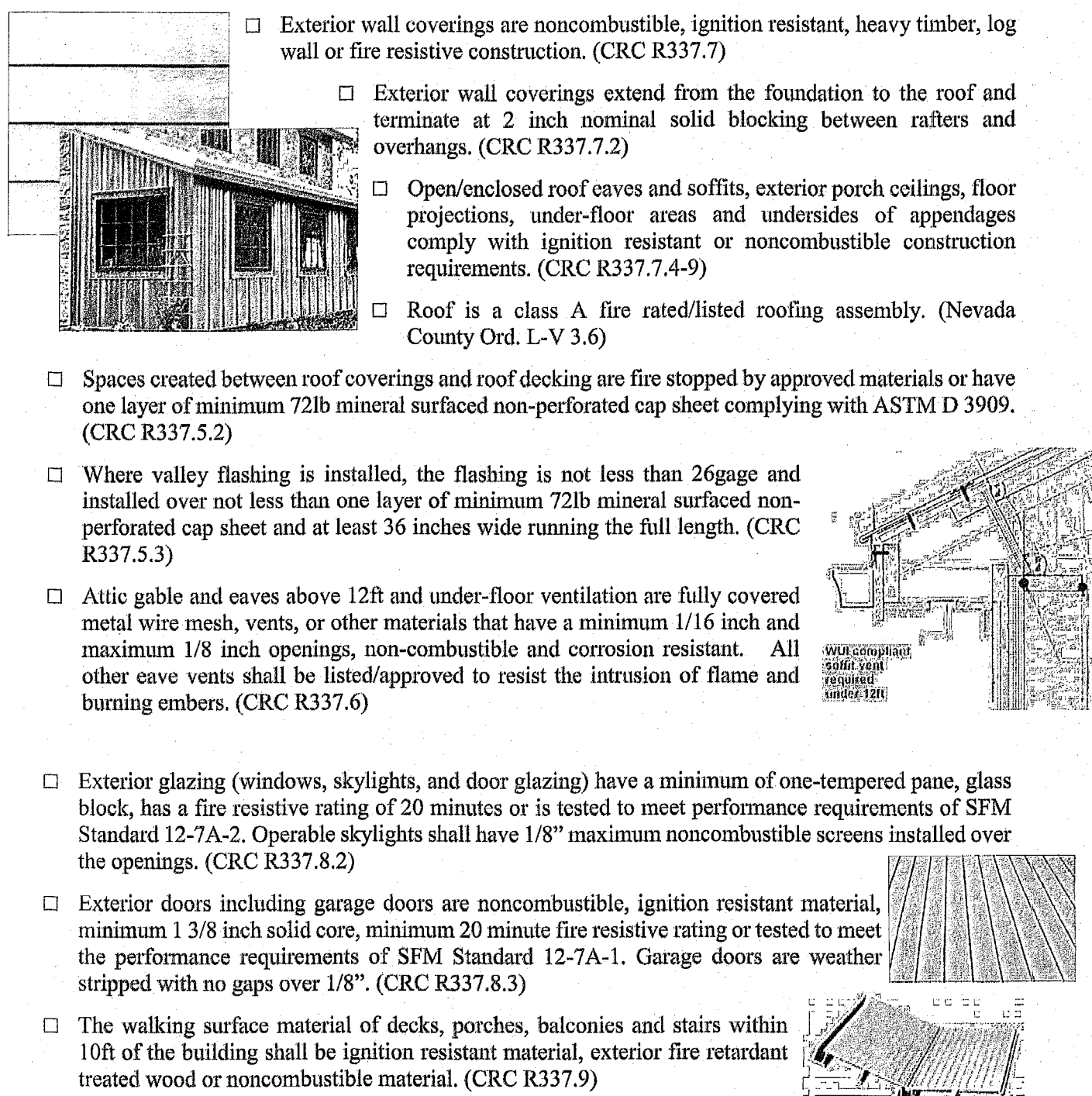
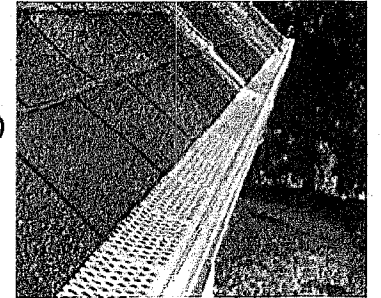
NOTE: EXTERIOR GLAZING WMC 150.01E(b)(IV)
 PROVIDE EXTERIOR WINDOWS, WINDOW WALLS, SKYLIGHTS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20-MINUTES, AND CONFORM TO SFM 12-7A-2 AND CBC CHAPTER 24.

Solano County Dept. of Resource Management
 Planning Services Division Approved
 Application No: 2021-000006
 Date Approved: 6/3/24
 Approved By: [Signature]
 Conditionally Approved

Wildland Urban Interface (WUI) Compliance Homeowner Checklist 2019 CBC CHAPTER 7A and CRC SECTION R337

The purpose of this code is to assist in protection of life and property by increasing the ability of the building to resist fire intrusions. New construction shall comply with the Wildland Urban Interface requirements.

- Remove all flammable vegetation within 30ft of building (see *vegetation management handout*)
- Reduce fuel vegetation for the next 70ft (see *vegetation management handout*)
- Remove tree limbs from within 10ft of chimney outlet
- Eliminate dead wood from trees overhanging structure
- Roof is free of leaves, needles, and/or dead vegetation. All roof gutters have debris guards installed.
- Exterior wall coverings are noncombustible, ignition resistant, heavy timber, log wall or fire resistive construction. (CRC R337.7)
- Exterior wall coverings extend from the foundation to the roof and terminate at 2 inch nominal solid blocking between rafters and overhangs. (CRC R337.7.2)
- Open/enclosed roof eaves and soffits, exterior porch ceilings, floor projections, under-floor areas and undersides of appendages comply with ignition resistant or noncombustible construction requirements. (CRC R337.7.4-9)
- Roof is a class A fire rated/listed roofing assembly. (Nevada County Ord. L-V 3.6)
- Spaces created between roof coverings and roof decking are fire stopped by approved materials or have one layer of minimum 72lb mineral surfaced non-perforated cap sheet complying with ASTM D 3909. (CRC R337.5.2)
- Where valley flashing is installed, the flashing is not less than 26gauge and installed over not less than one layer of minimum 72lb mineral surfaced non-perforated cap sheet and at least 36 inches wide running the full length. (CRC R337.5.3)
- Attic gable and eaves above 12ft and under-floor ventilation are fully covered metal wire mesh, vents, or other materials that have a minimum 1/16 inch and maximum 1/8 inch openings, non-combustible and corrosion resistant. All other eave vents shall be listed/approved to resist the intrusion of flame and burning embers. (CRC R337.6)
- Exterior glazing (windows, skylights, and door glazing) have a minimum of one-tempered pane, glass block, has a fire resistive rating of 20 minutes or is tested to meet performance requirements of SFM Standard 12-7A-2. Operable skylights shall have 1/8" maximum noncombustible screens installed over the openings. (CRC R337.8.2)
- Exterior doors including garage doors are noncombustible, ignition resistant material, minimum 1 3/8 inch solid core, minimum 20 minute fire resistive rating or tested to meet the performance requirements of SFM Standard 12-7A-1. Garage doors are weather stripped with no gaps over 1/8". (CRC R337.8.3)
- The walking surface material of decks, porches, balconies and stairs within 10ft of the building shall be ignition resistant material, exterior fire retardant treated wood or noncombustible material. (CRC R337.9)



All materials used shall comply with CRC Section R337 requirements for exposure to wildfire. Refer to the Office of the State Fire Marshal approved Building Material Listing website for more information:

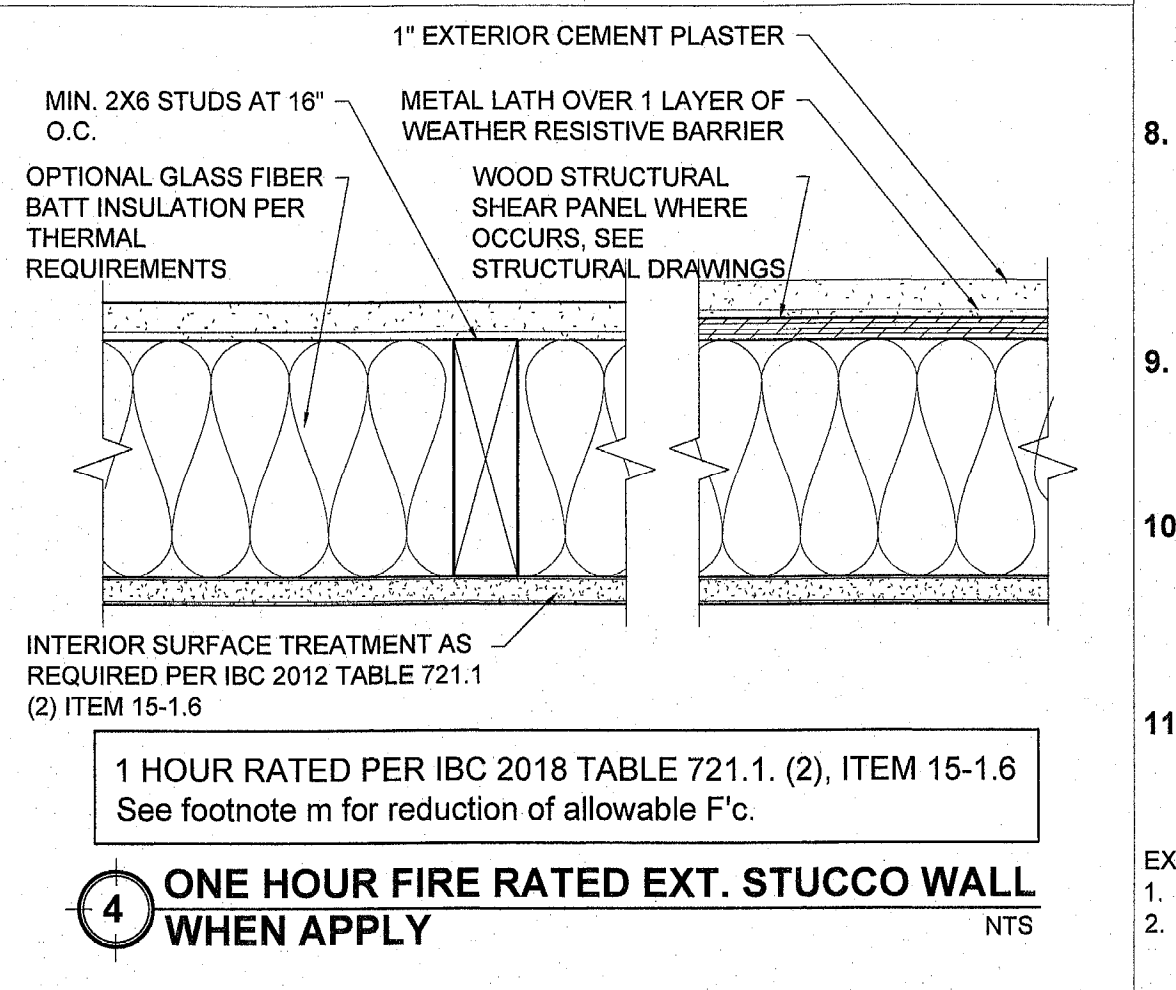
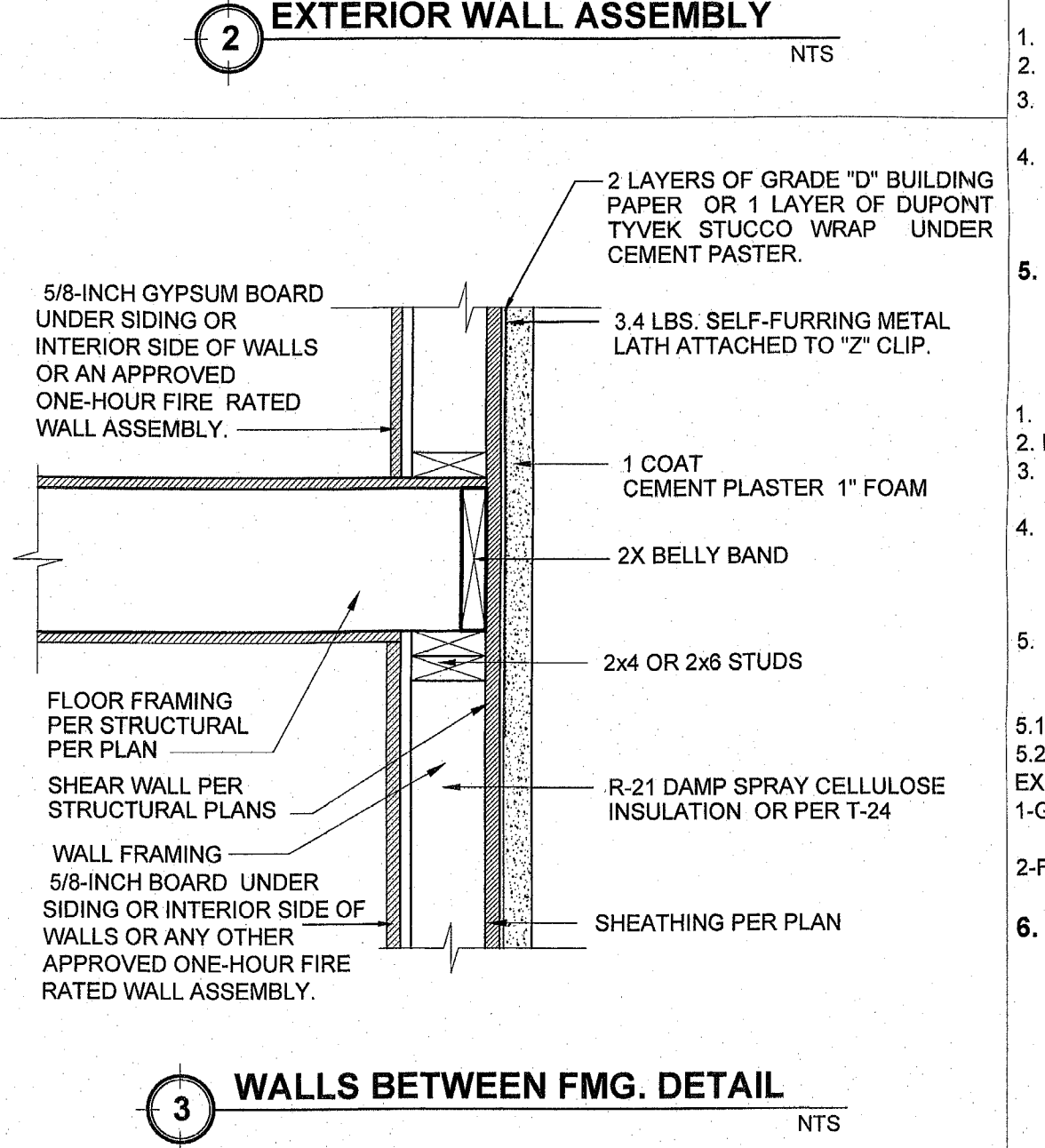
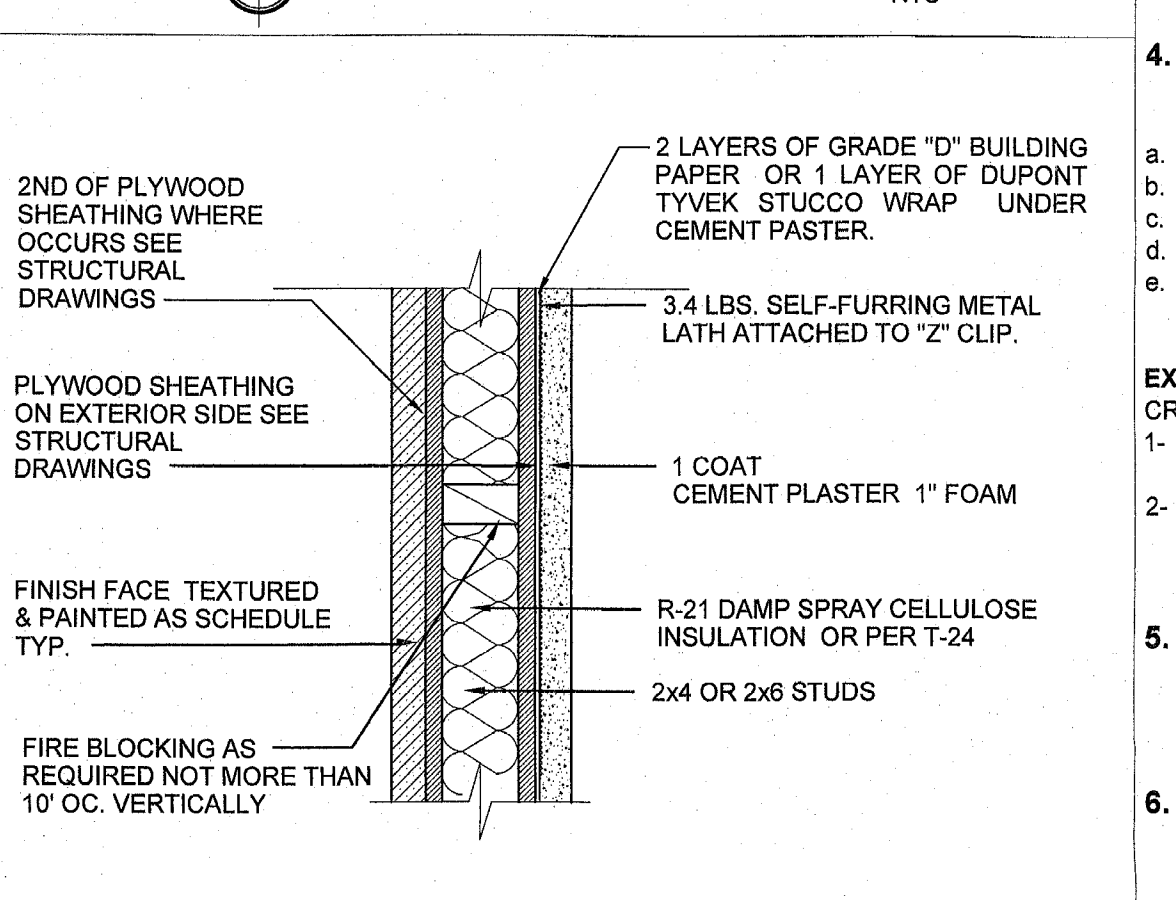
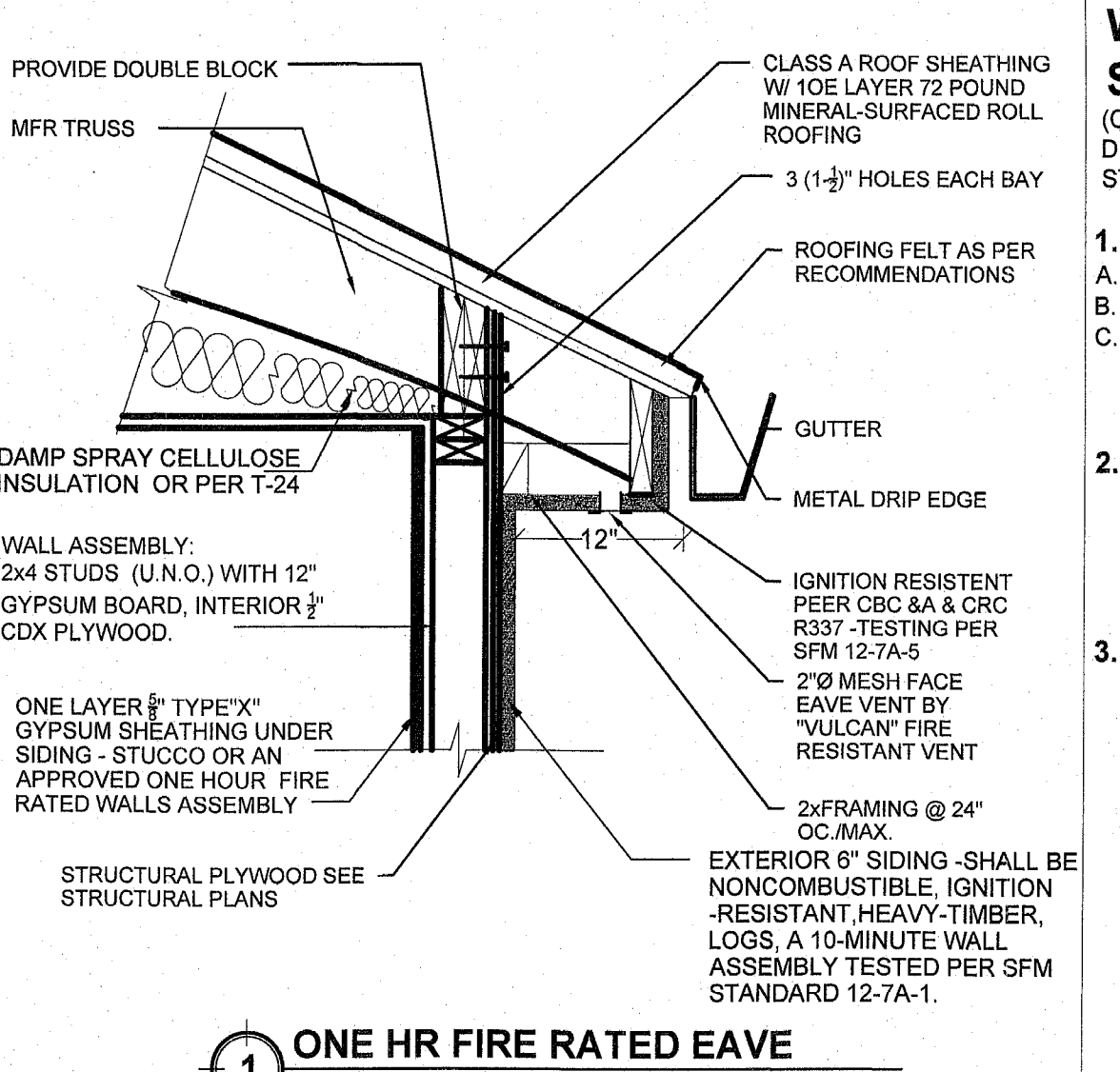
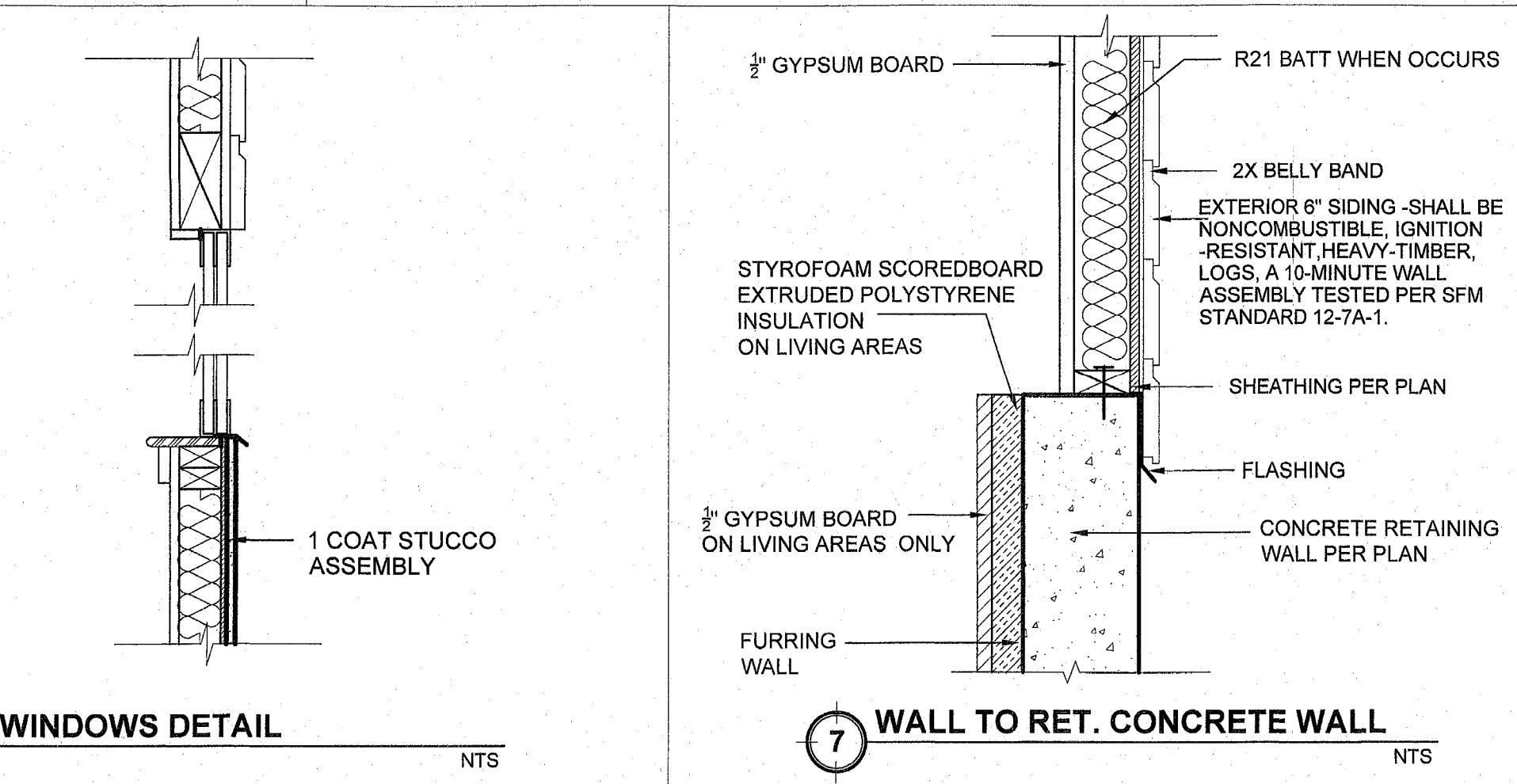
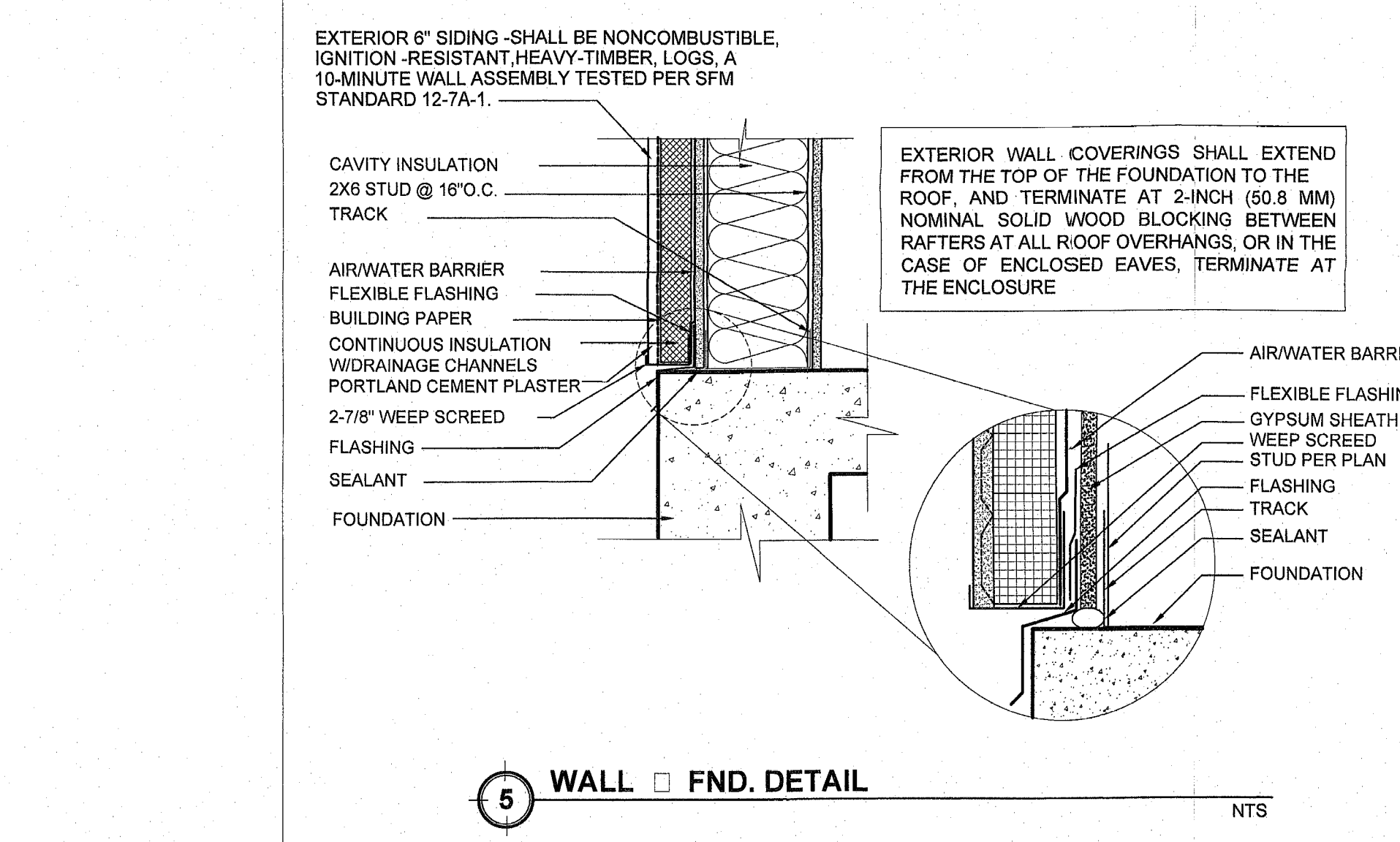
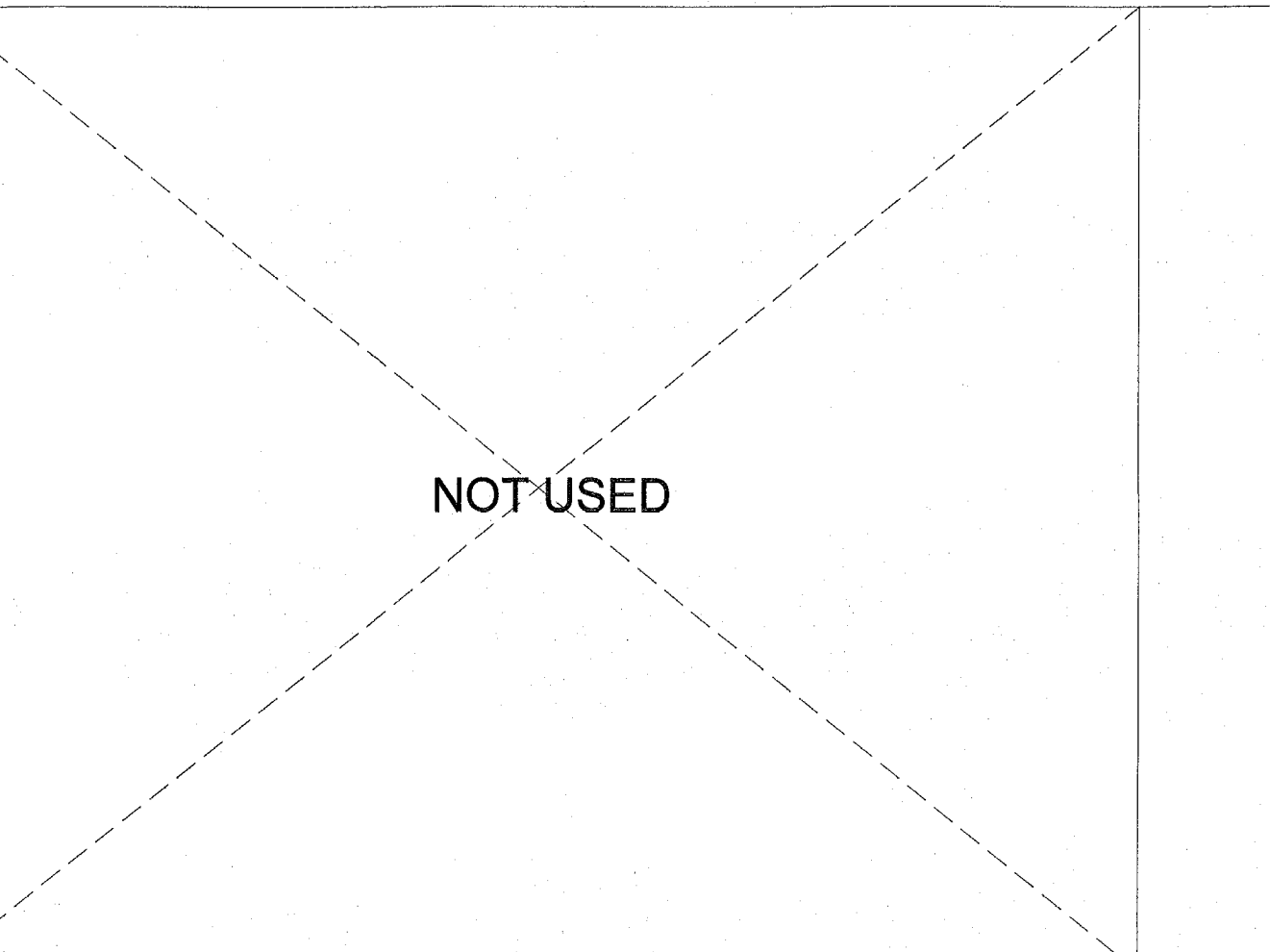
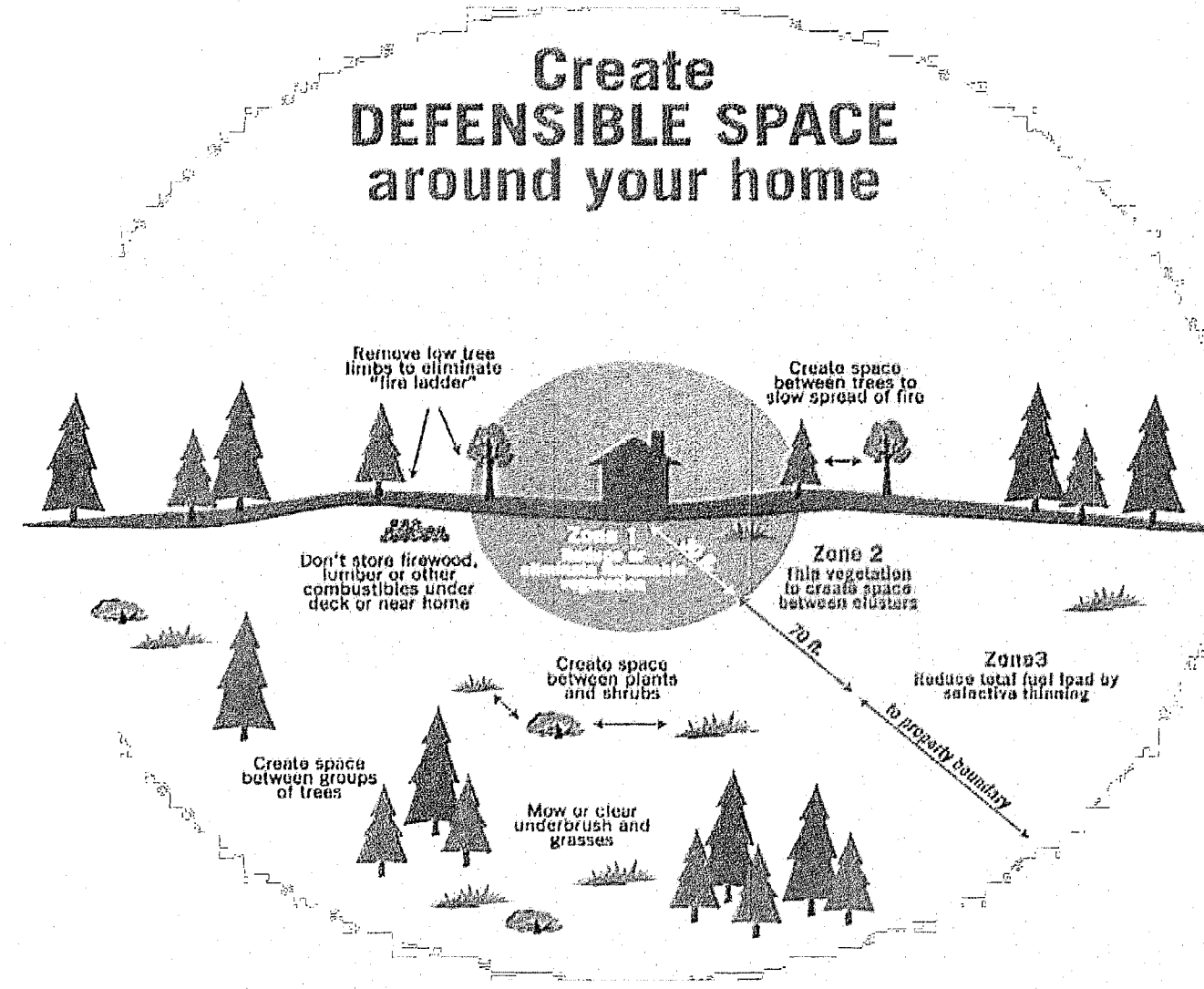
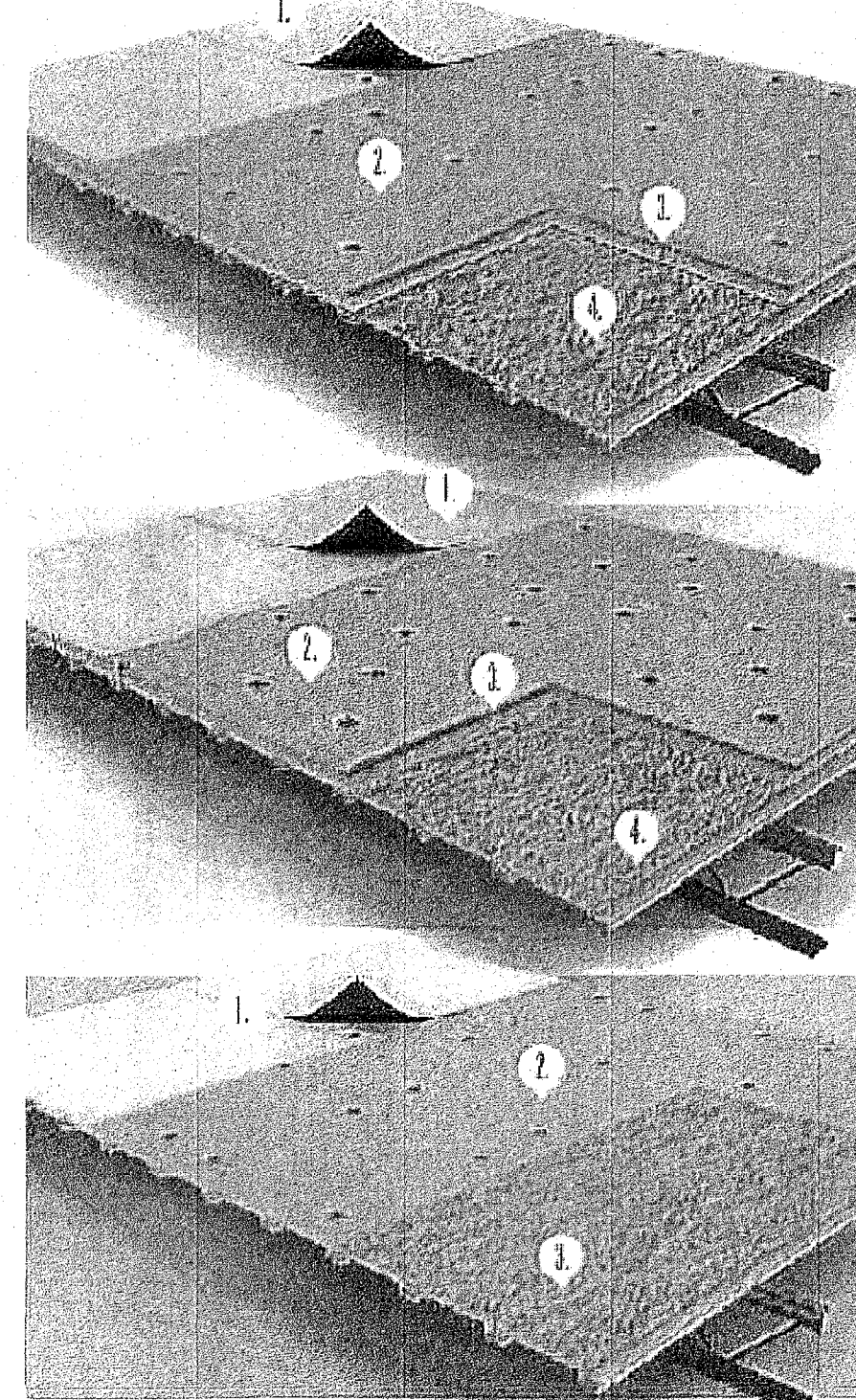
http://osfm.fire.ca.gov/licensinglistings/licenselisting_bullet_searchcoast

JM CGF Polyiso UL Class A Approvals

Protector® HD, SeparatoR® CGF and ENRGY 3® CGF achieve UL Class A approvals over combustible wood decks up to 1/2:12" slope. These versatile Class A approvals allow for installation of a single layer of these products or in combination with additional layers of ENRGY 3 insulation. These Class A approvals eliminate the need to utilize FR faced products up to 1/2:12" slope.

Common UL Class A assemblies include the following examples:

1. JM Membrane (adhered, fastened or induction welded)
Protector HD or SeparatoR CGF (joints offset min. 12" from wood deck joints)
Optional layer(s) of ENRGY 3 insulation, any thickness
2. JM Membrane (adhered, fastened or induction welded)
Protector HD or SeparatoR CGF (joints offset min. 12" from wood deck joints)
Optional layer(s) of ENRGY 3 insulation, any thickness
3. JM Membrane (adhered, fastened or induction welded)
SeparatoR CGF, Protector HD or ENRGY 3 CGF min. 1" thickness (joints offset min. 12" from wood deck joints)
Combustible wood deck
4. JM Membrane (adhered, fastened or induction welded)
SeparatoR CGF, Protector HD or ENRGY 3 CGF min. 1" thickness (joints offset min. 12" from wood deck joints)
Combustible wood deck



WUI KEY NOTES - BUILDING ELEMENTS SPECIFICATIONS BY CODE

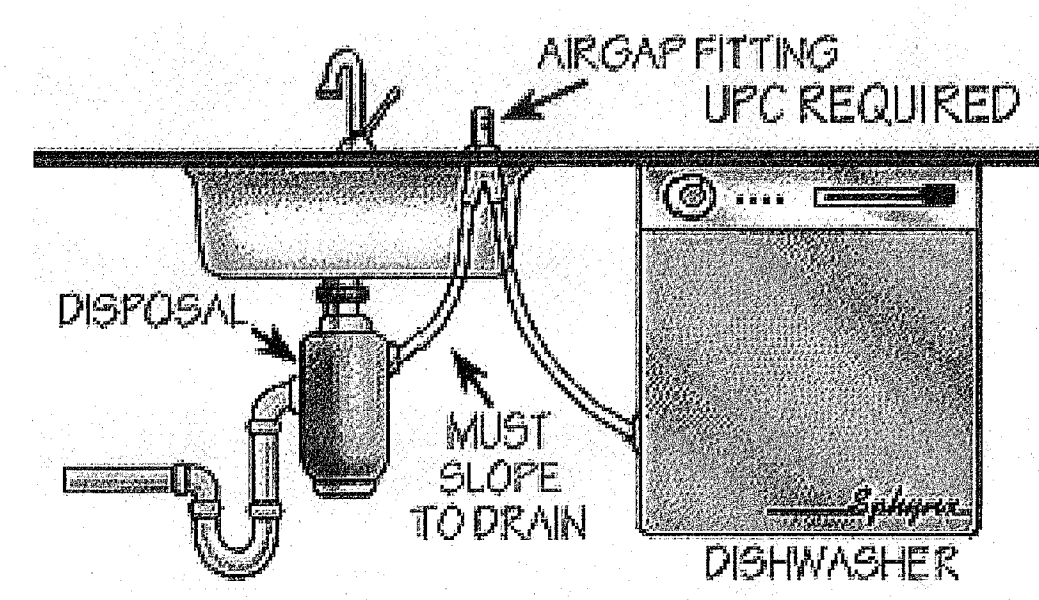
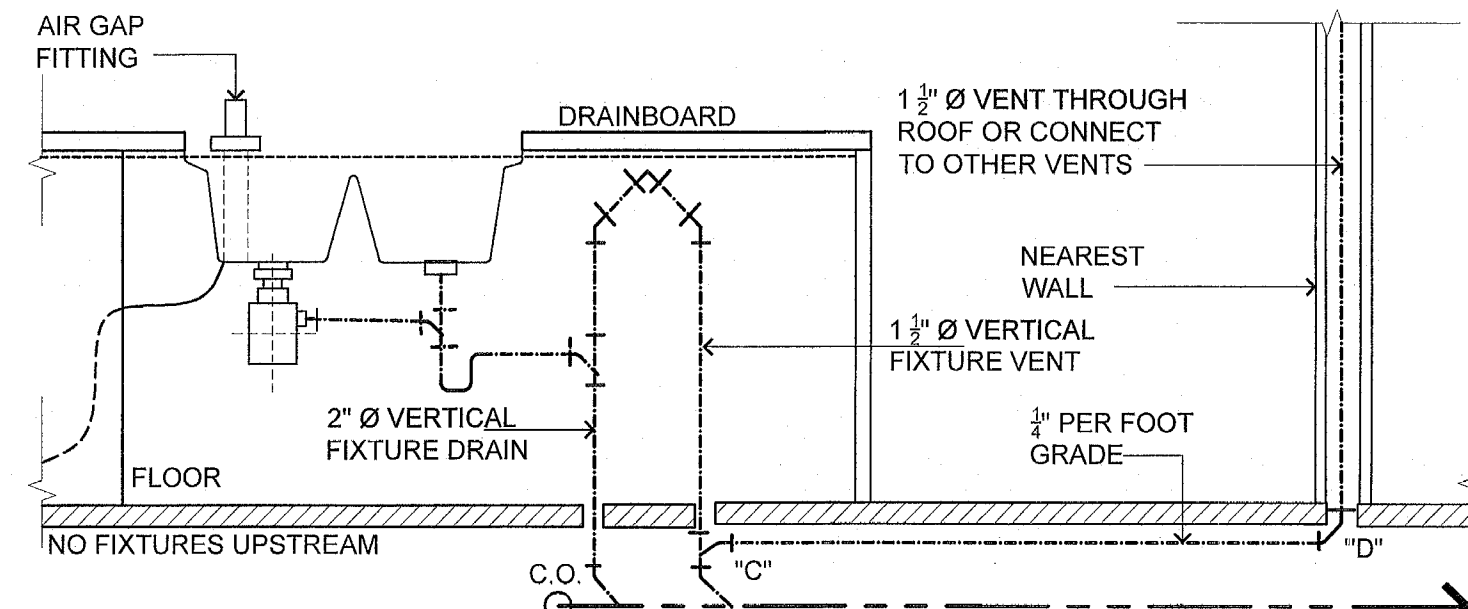
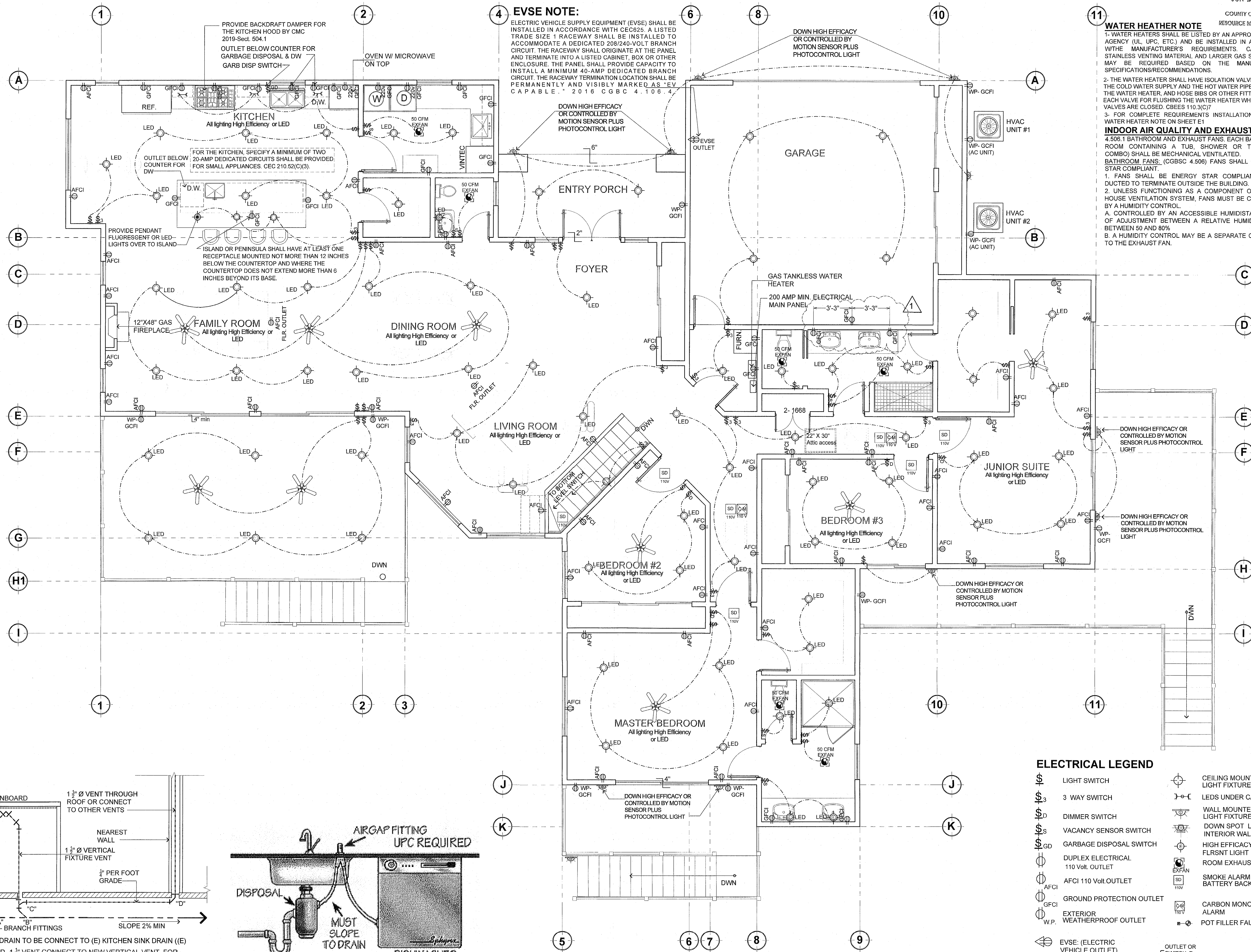
- (CBC CHAPTER 7A & CRC SECTION R337) IGNITION-RESISTANT MATERIALS - SHALL BE DETERMINED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-5 'IGNITION-RESISTANT MATERIAL' OR IN ACCORDANCE WITH THIS SECTION.
1. **CBC 706A & CRC 337.6 VENTS** -
 - A. MINIMUM 1/16TH INCH (1.6MM) MAXIMUM 1/8TH INCH (3.2MM) OPENINGS.
 - B. MATERIALS TO BE NONCOMBUSTIBLE AND CORROSION RESISTANT.
 - C. SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES AND CORNICES UNLESS THE ENCLOSED AREA IS PROTECTED BY A SPRINKLER SYSTEM, OR THE VENTS ARE LOCATED MORE THAN 12 FEET ABOVE THE GROUND OR WALKING SURFACE BELOW, AND ALL EXTERIOR SURFACES OF THE STRUCTURE ARE IGNITION-RESISTANT.
 2. **(CRC 337.1.5) VEGETATION MANAGEMENT** - PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS DESCRIBED IN CALIFORNIA FIRE CODE SECTION 4905, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182. RECOMMENDATION: ALL GRASS WITHIN 30'-0" OF STRUCTURES TO BE ELIMINATED, OR IGNITION RESISTANT WITH ALL TREES WITHIN 100'-0" TRIMMED UP TO 10'-0".
 3. **CBC 705A.2 & CRC 337.5.2 ROOF COVERINGS** - WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRE STOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 POUND (32.4 KG) MINERAL-SURFACED NONPERFORATED CAP SHEET COMPLYING WITH ASTM D3909 INSTALLED OVER THE COMBUSTIBLE DECKING.
 4. **CBC 707A.3 & CRC R337.7.3 - EXTERIOR COVERINGS**: THE EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS:
 - a. NONCOMBUSTIBLE MATERIAL
 - b. IGNITION-RESISTANT MATERIAL
 - c. HEAVY-TIMBER EXTERIOR WALL ASSEMBLY
 - d. LOGS WALL CONSTRUCTION ASSEMBLY
 - e. WALL ASSEMBLIES THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES FOR A 10-MINUTE DIRECT FLAME CONTACT EXPOSURE TEST SET FORTH IN SFM.

EXCEPTION: ANY OF THE FOLLOWING SHALL BE DEEMED TO MEET THE ASSEMBLY PERFORMANCE CRITERIA AND INTENT OF THIS SECTION:

 1. ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE FRAMING
 2. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY DESIGNED FOR EXTERIOR FIRE EXPOSURE INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL
 5. **CBC 707A.3.1 - EXTENT OF EXTERIOR WALL COVERING**: EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.
 6. **CBC 707A.4 & CRC R337.7.4 - OPEN ROOF EAVES**: SHALL BE PROVIDE SOLID WOOD BLOCKING INSTALLED BETWEEN RAFTER TAILS ON THE EXPOSED UNDERSIDE OF OPEN ROOF EAVES HAVING A MINIMUM NOMINAL DIMENSION OF 2 INCH. THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED ROOF EAVES SHALL CONSIST OF ONE OF THE FOLLOWING:
 1. NONCOMBUSTIBLE MATERIAL
 2. IGNITION-RESISTANT MATERIAL
 3. ONE LAYER OF 5/8" INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK.
 4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK DESIGNED FOR EXTERIOR FIRE EXPOSURE INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL
 7. **CBC 707A.5 - CRC 337.7.5) ENCLOSED ROOF EAVES & ROOF EAVE SOFFITS**: EXPOSED UNDERSIDE OF ENCLOSED ROOF EAVES HAVING EITHER A BOXED-IN ROOF EAVE SOFFIT WITH A HORIZONTAL UNDERSIDE, OR SLOPING RAFTER TAILS WITH AN EXTERIOR COVERING APPLIED TO THE UNDERSIDE OF THE RAFTER TAILS, SHALL BE PROTECTED BY ONE OF THE FOLLOWING:
 1. NONCOMBUSTIBLE MATERIAL
 2. IGNITION-RESISTANT MATERIAL
 3. ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE RAFTER TAILS OR SOFFIT
 4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE RAFTER TAILS OR SOFFIT INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL
 5. BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN EITHER OF THE FOLLOWING:
 - 5.1. SFM STANDARD 12-7A-3, OR
 - 5.2. ASTM E2957

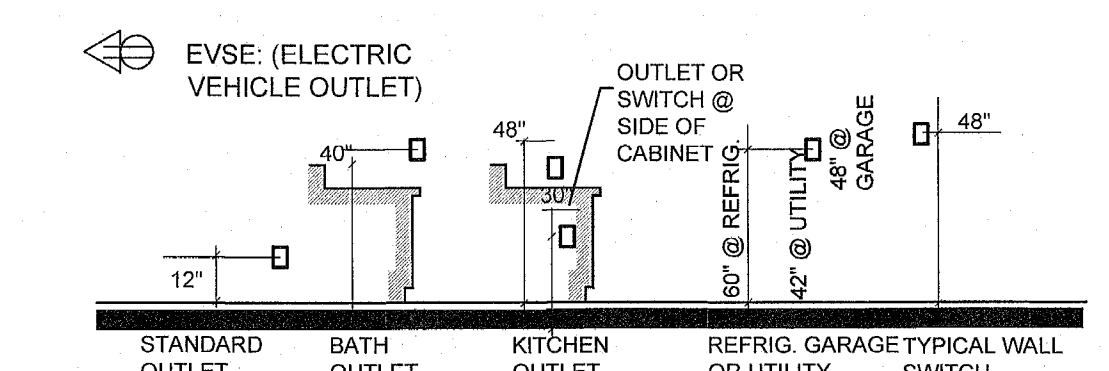
EXCEPTIONS: THE FOLLOWING MATERIALS DO NOT REQUIRE PROTECTION:

 - 1-GABLE END OVERHANGS AND ROOF ASSEMBLY PROJECTIONS BEYOND AN EXTERIOR WALL OTHER THAN AT THE LOWER END OF THE RAFTER TAILS
 - 2-FASCIA AND OTHER ARCHITECTURAL TRIM BOARDS.
 8. **CBC 707A.6-CRC 337.7.6) EXTERIOR CEILING**: SHALL BE PROTECTED BY NONCOMBUSTIBLE MATERIAL, IGNITION RESISTANT MATERIAL, 1COAT STUCCO OR ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING UNDER THE SIDING, A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL, OR OTHER MATERIALS COMPLYING WITH SFM STANDARD 12-7A-3, ASTM E2957. (CRC 337.7.7-9) UNDERFLOOR
 9. **PROTECTION OF OVERHANGS AND APPENDAGES AND CANTILEVERS** - SHALL BE ENCLOSED TO GRADE WITH MATERIALS THAT ARE NONCOMBUSTIBLE, IGNITION-RESISTANT, ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING UNDER THE SIDING, AN APPROVED ONE-HOUR ASSEMBLY, OR OTHER MATERIALS COMPLYING WITH SFM STANDARD 12-7A-3.
 10. **CBC 708A.2 - CRC 337.8.2.1 EXTERIOR WINDOWS**: (ALL WINDOWS AND DOOR GLAZING MATERIAL) SHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE GLASS BLOCK MEETING THE REQUIREMENTS OF SECTION 2406- SAFETY GLAZING OR BE CONSTRUCTED OF GLASS BLOCK UNITS, HAVE A FIRE-RESISTANCE OF NOT LESS THAN 20-MINUTE RATED FIRE TESTED ACCORDING NFPA 279), OR A TESTED MATERIAL OR ASSEMBLY THAT MEETS THE SFM STANDARD 12-7A-2. INSTALLED PYRAN® PLATINUM F 20-180 MIN. FIRE RATED FILMED CERAMIC GLASS
 11. **CBC 708A.3 & CRC 337.8.3 EXTERIOR DOORS** - EXTERIOR SURFACE SHALL BE NONCOMBUSTIBLE IGNITION-RESISTANT, OR THE DOOR 1 3/8-INCH THICK SOLID CORE MINIMUM 20 MINUTE FIRE RESISTIVE RATING OR TESTED TO MEET THE PERFORMANCE CRITERIA OF SFM STANDARD 12-7A-1. RAISED PANELS SHALL NOT BE LESS THAN 1 1/4-INCH THICK AND MAY BE TAPERED TO 3/8-INCH THICK AT EDGES.
 12. **CBC 709A & CRC 337.9) DECKING, PORCHES, BALCONIES AND STAIRS** - WITHIN 10 FEET OF GROUND LEVEL SHALL BE IGNITION-RESISTANT MATERIALS (SFM STANDARD 12-7A-4 & SFM STANDARD 12-7A-5). EXTERIOR FIRE RETARDANT TREATED WOOD, NONCOMBUSTIBLE MATERIALS THAT COMPLY WITH ASTM E 84 WITH A CLASS B FLAME SPREAD RATING, OR OTHER MATERIALS THAT CONFORM TO SFM STANDARD 12-7A-4 (CRC 337.10)
 13. **CBC 710A & CRC 337.10.2 - ACCESSORY AND MISCELLANEOUS STRUCTURES** - APPLICABILITY. THE PROVISIONS OF THIS SECTION SHALL APPLY TO TRELLISES, ARBORS, PATIO COVERS, CARPORTS, GAZEBOS, AND SIMILAR STRUCTURES OF AN ACCESSORY OR MISCELLANEOUS CHARACTER.
- EXCEPTIONS: DECKS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R337.9.
1. AWNINGS AND CANOPIES SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 3105 OF THE CALIFORNIA BUILDING CODE



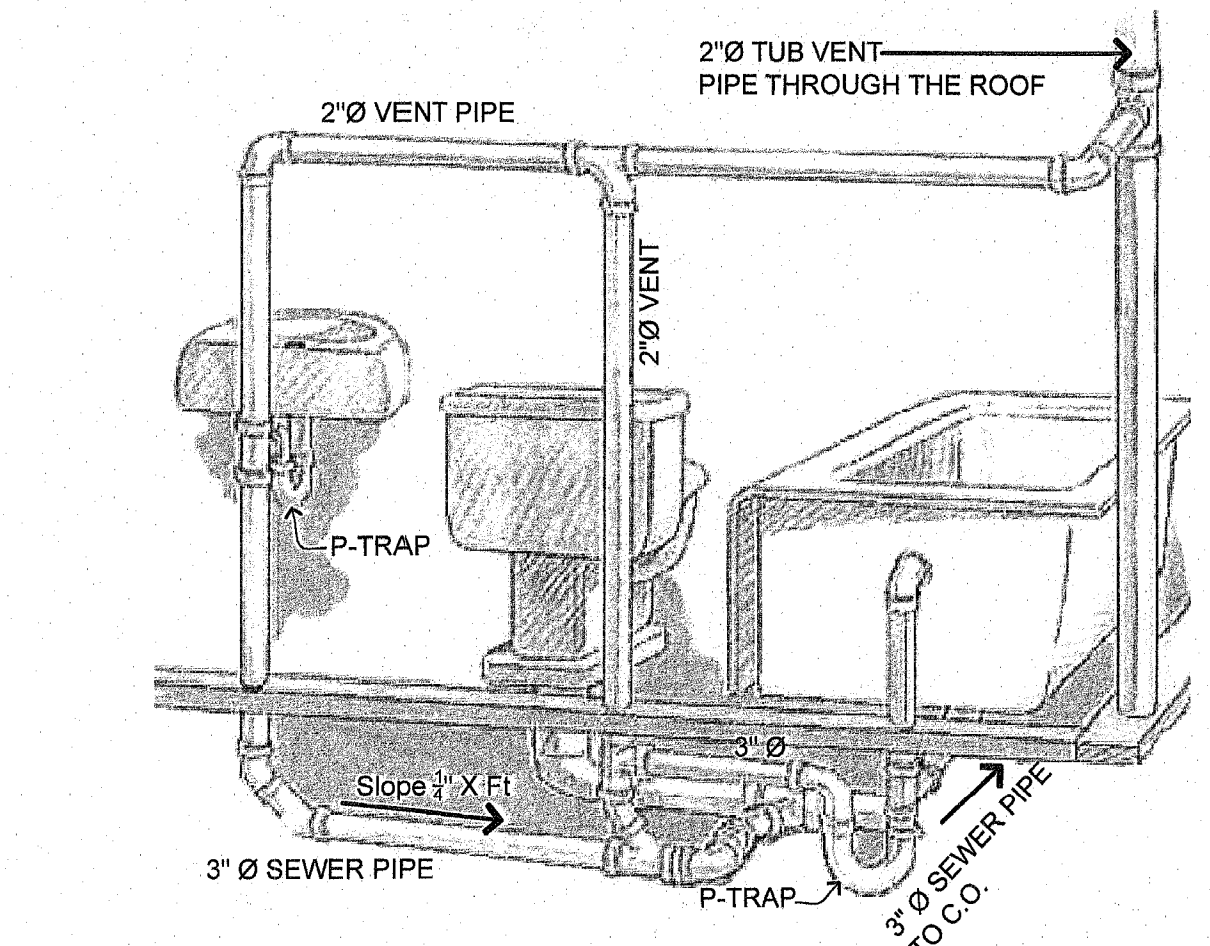
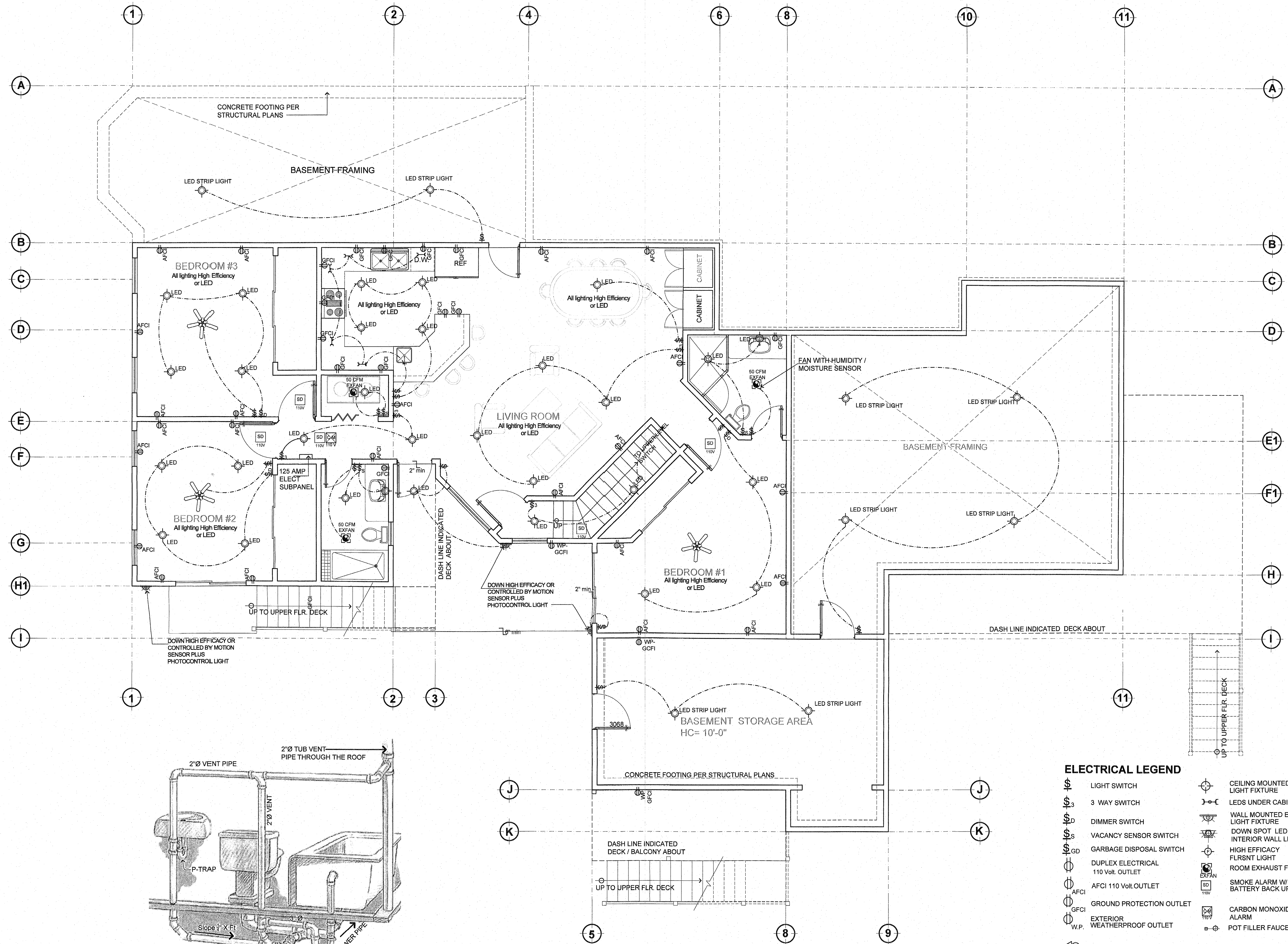
ELECTRICAL LEGEND

\$	LIGHT SWITCH	⊕	CEILING MOUNTED LIGHT FIXTURE
\$3	3 WAY SWITCH	⊕	LEDS UNDER CABINET
\$D	DIMMER SWITCH	⊕	WALL MOUNTED EXTERIOR LIGHT FIXTURE
\$S	VACANCY SENSOR SWITCH	⊕	DOWN SPOT LED INTERIOR WALL LIGHT
\$GD	GARBAGE DISPOSAL SWITCH	⊕	HIGH EFFICACY FLRSNT LIGHT
⊕	DUPLEX ELECTRICAL 110 Volt OUTLET	⊕	ROOM EXHAUST FAN
⊕	AFCI 110 Volt OUTLET	⊕	SMOKE ALARM W/ BATTERY BACK UP
⊕	GROUND PROTECTION OUTLET	⊕	CARBON MONOXIDE ALARM
⊕	GFCI	⊕	POT FILLER FAUCET
⊕	EXTERIOR WEATHERPROOF OUTLET		



UPPER LEVEL ELECTRICAL PLAN

SCALE 1/4"=1'0"



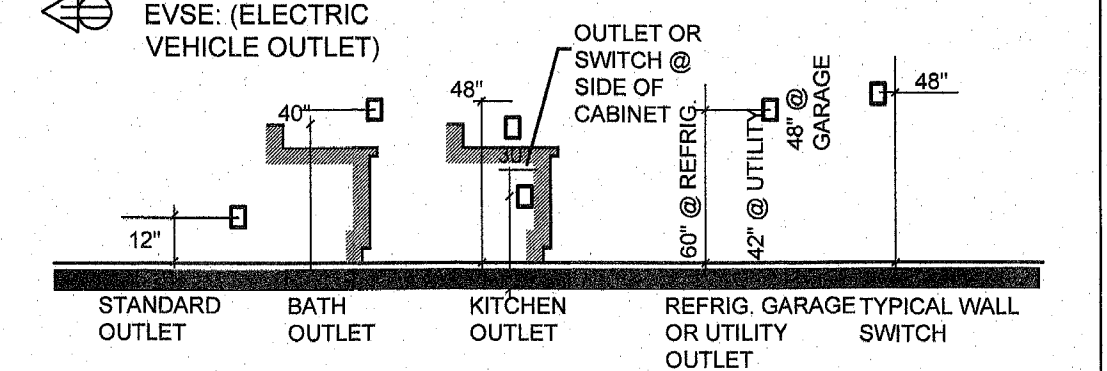
B1 TYPICAL SEWER LINE DIAGRAM NTS
 ALL NEW 3" Ø SEWER LINE TO BE CONNECT TO (E) SEWER LINE CONNECTED TO (E) CLEAN OUT (FOR LOCATION REFER TO BATH PLUMBING PLAN)

LOWER LEVEL ELECTRICAL PLAN

SCALE 1/4"=1'0"

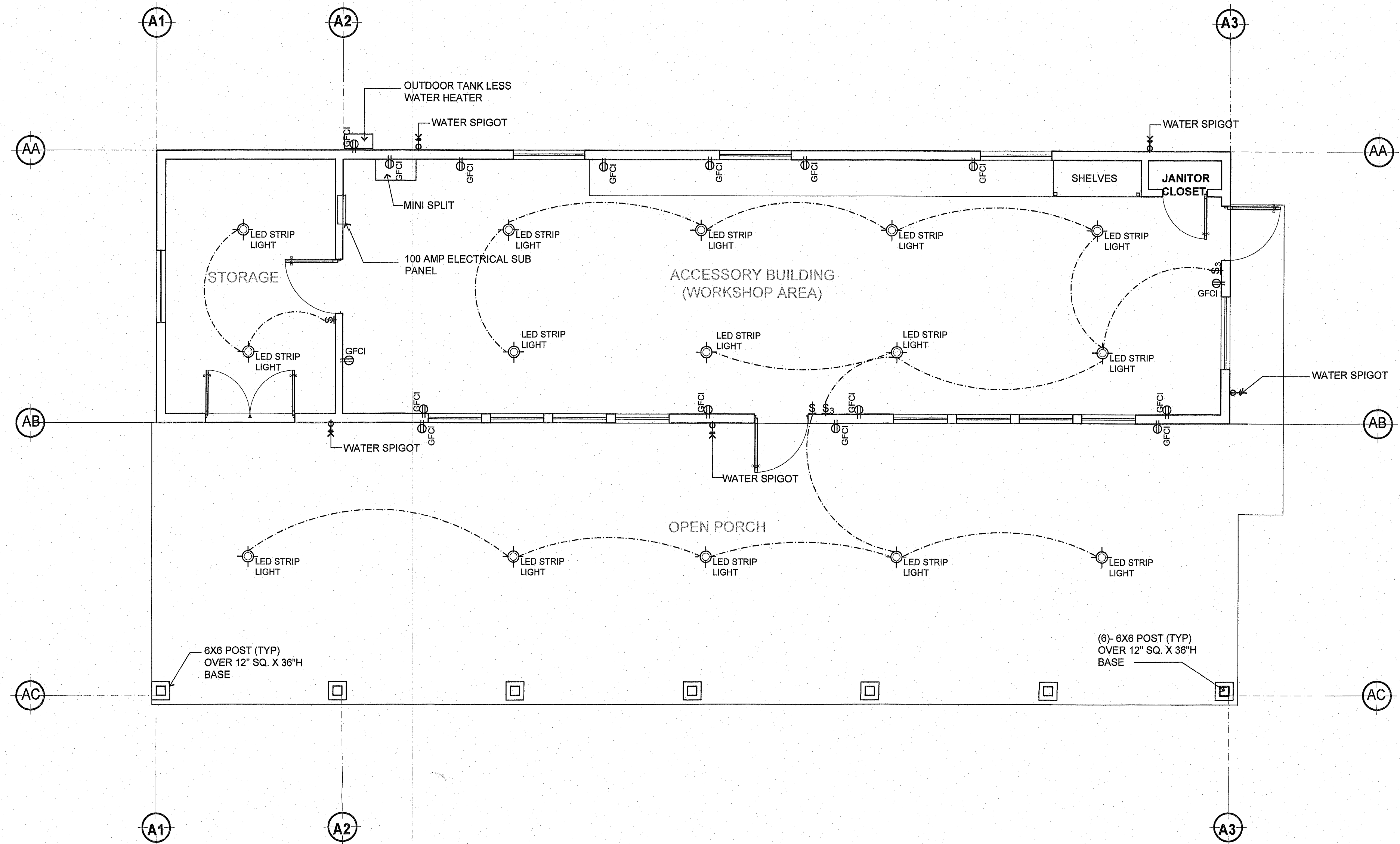
ELECTRICAL LEGEND

- ⌘ LIGHT SWITCH
- ⌘ 3 WAY SWITCH
- ⌘ DIMMER SWITCH
- ⌘ VACANCY SENSOR SWITCH
- ⌘ GARBAGE DISPOSAL SWITCH
- ⌘ DUPLEX ELECTRICAL 110 Volt. OUTLET
- ⌘ AFCI 110 Volt. OUTLET
- ⌘ GFCI GROUND PROTECTION OUTLET
- ⌘ GFCI EXTERIOR WEATHERPROOF OUTLET
- ⌘ EVSE: (ELECTRIC VEHICLE OUTLET)
- ⌘ CEILING MOUNTED LIGHT FIXTURE
- ⌘ LEDS UNDER CABINET
- ⌘ WALL MOUNTED EXTERIOR LIGHT FIXTURE
- ⌘ DOWN SPOT LED INTERIOR WALL LIGHT
- ⌘ HIGH EFFICACY FLRSNT LIGHT
- ⌘ ROOM EXHAUST FAN
- ⌘ SMOKE ALARM W/ BATTERY BACK UP
- ⌘ CARBON MONOXIDE ALARM
- ⌘ POT FILLER FAUCET



SWITCH & OUTLET MOUNTING HEIGHTS

SCALE AS SHOWN
 Project # 20201110
E3.0

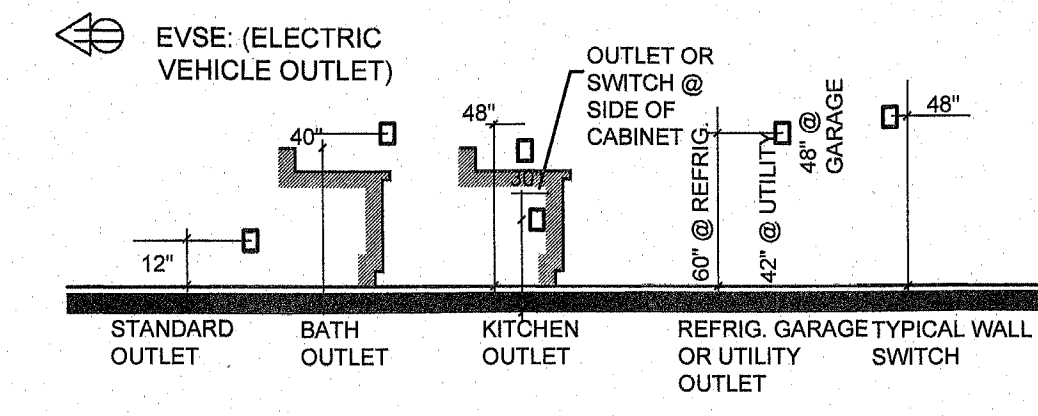


ACCESSORY BUILDING ELECTRICAL PLAN

SCALE 1/4"=1'0"

ELECTRICAL LEGEND

- | | | | |
|-------------------|------------------------------------|---|-------------------------------------|
| ⊕ | LIGHT SWITCH | ⊕ | CEILING MOUNTED LIGHT FIXTURE |
| ⊕ ₃ | 3 WAY SWITCH | ⊕ | LEDS UNDER CABINET |
| ⊕ _D | DIMMER SWITCH | ⊕ | WALL MOUNTED EXTERIOR LIGHT FIXTURE |
| ⊕ _S | VACANCY SENSOR SWITCH | ⊕ | DOWN SPOT LED INTERIOR WALL LIGHT |
| ⊕ _{GD} | GARBAGE DISPOSAL SWITCH | ⊕ | HIGH EFFICACY FLRSNT LIGHT |
| ⊕ | DUPLEX ELECTRICAL 110 Volt. OUTLET | ⊕ | ROOM EXHAUST FAN |
| ⊕ _{AFCI} | AFCI 110 Volt. OUTLET | ⊕ | SMOKE ALARM W/ BATTERY BACK UP |
| ⊕ _{GFCI} | GROUND PROTECTION OUTLET | ⊕ | CARBON MONOXIDE ALARM |
| ⊕ _{W.P.} | EXTERIOR WEATHERPROOF OUTLET | ⊕ | POT FILLER FAUCET |



SWITCH & OUTLET MOUNTING HEIGHTS

SCALE AS SHOWN
 Project # 20201110
E4.0

n 1
n 2

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
Project Name: Rebuilt Two Story house
Calculation Description: Title 24 Analysis
Table: OPAQUE SURFACE CONSTRUCTIONS with 8 columns: 01, 02, 03, 04, 05, 06, 07, 08.

BUILDING ENVELOPE - HERS VERIFICATION
Table with 4 columns: 01, 02, 03, 04.
Rows: Quality Insulation Installation (QII), High R-value Spray Foam Insulation, Building Envelope Air Leakage, CFM50.

Registration Number: 221-P0101357-10A-000-000-0000000-0000
Registration Date/Time: 2021-07-02 09:53:40
HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
Project Name: Rebuilt Two Story house
Calculation Description: Title 24 Analysis
Table: WATER HEATING SYSTEMS

Table with 9 columns: 01, 02, 03, 04, 05, 06, 07, 08, 09.
Rows: Name, System Type, Number of Systems in Building, Multi-Family Distribution Type, Dwelling Unit Distribution Type, Water Heater Name (H), Solar Heating System, Compact Distribution, HERS Verification.

Table with 12 columns: 01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12.
Rows: Name, Heating Element Type, Tank Type, # of Units, Tank Vol. (gal), Energy Factor or Efficiency, Input Rating or Pilot, Tank Insulation R-value (In/Ex), Standby Loss or Recovery Eff, 1st Hr. Rating or Flow Rate, NEEA Heat Pump Brand or Model, Tank Location or Ambient Condition.

Table with 8 columns: 01, 02, 03, 04, 05, 06, 07, 08.
Rows: Name, Pipe Insulation, Parallel Piping, Compact Distribution, Compact Distribution Types, Recirculation Control, Central DHW Distribution, Shower Drain Water Heat Recovery.

Registration Number: 221-P0101357-10A-000-000-0000000-0000
Registration Date/Time: 2021-07-02 09:53:40
HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
Project Name: Rebuilt Two Story house
Calculation Description: Title 24 Analysis
Table: SPACE CONDITIONING SYSTEMS

Table with 11 columns: 01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11.
Rows: Name, System Type, Heating Unit Name, Cooling Unit Name, Fan Name, Distribution Name, Required Thermostat Type, Status, Verified Existing Condition, Heating Equipment Count, Cooling Equipment Count.

Table with 4 columns: 01, 02, 03, 04.
Rows: Name, System Type, Heating Efficiency, Heating Efficiency.

Table with 8 columns: 01, 02, 03, 04, 05, 06, 07, 08.
Rows: Name, System Type, Number of Units, Efficiency EER/CEER, Efficiency SEER, Zonally Controlled, Multi-speed Compressor, HERS Verification.

Registration Number: 221-P0101357-10A-000-000-0000000-0000
Registration Date/Time: 2021-07-02 09:53:40
HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
Project Name: Rebuilt Two Story house
Calculation Description: Title 24 Analysis
Table: ZONE INFORMATION

Table with 5 columns: 01, 02, 03, 04, 05.
Rows: Zone Name, Zone Type, Zone Floor Area (ft²), Avg. Ceiling Height, Number of Dwelling Units.

Table with 3 columns: 01, 02, 03.
Rows: Dwelling Unit Name, Dwelling Unit Type, Zone.

Table with 7 columns: 01, 02, 03, 04, 05, 06, 07.
Rows: Name, CFA (ft²), Number of Bedrooms, Number of Bathrooms, Space Conditioning Systems Assigned, DHW System Name, IAQ Vent Fan Name.

Table with 8 columns: 01, 02, 03, 04, 05, 06, 07, 08.
Rows: Name, Zone, Construction, Azimuth, Orientation, Gross Area (ft²), Window and Door Area (ft²), Tilt (deg).

Registration Number: 221-P0101357-10A-000-000-0000000-0000
Registration Date/Time: 2021-07-02 09:53:40
HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
Project Name: Rebuilt Two Story house
Calculation Description: Title 24 Analysis
Table: OPAQUE SURFACES

Table with 8 columns: 01, 02, 03, 04, 05, 06, 07, 08.
Rows: Name, Zone, Construction, Azimuth, Orientation, Gross Area (ft²), Window and Door Area (ft²), Tilt (deg).

Table with 8 columns: 01, 02, 03, 04, 05, 06, 07, 08.
Rows: Name, Construction, Type, Roof Rise (x in 12), Roof Reflectance, Roof Emittance, Radiant Barrier, Cool Roof.

Table with 14 columns: 01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14.
Rows: Name, Type, Surface, Orientation, Azimuth, Width (ft), Height (ft), Mult., Area (ft²), U-factor, U-factor Source, SHGC, SHGC Source, Exterior Shading.

Registration Number: 221-P0101357-10A-000-000-0000000-0000
Registration Date/Time: 2021-07-02 09:53:40
HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
Project Name: Rebuilt Two Story house
Calculation Description: Title 24 Analysis
Table: FENESTRATION / GLAZING

Table with 14 columns: 01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14.
Rows: Name, Type, Surface, Orientation, Azimuth, Width (ft), Height (ft), Mult., Area (ft²), U-factor, U-factor Source, SHGC, SHGC Source, Exterior Shading.

Table with 4 columns: 01, 02, 03, 04.
Rows: Name, System Type, Surface Area (ft²), U-factor.

Table with 8 columns: 01, 02, 03, 04, 05, 06, 07, 08.
Rows: Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, Assembly Layers.

Registration Number: 221-P0101357-10A-000-000-0000000-0000
Registration Date/Time: 2021-07-02 09:53:40
HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
Project Name: Rebuilt Two Story house
Calculation Description: Title 24 Analysis
Table: GENERAL INFORMATION

Table with 3 columns: 01, 02, 03.
Rows: Building Complies with Computer Performance, This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.

Registration Number: 221-P0101357-10A-000-000-0000000-0000
Registration Date/Time: 2021-07-02 09:53:40
HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
Project Name: Rebuilt Two Story house
Calculation Description: Title 24 Analysis
Table: ENERGY DESIGN RATING

Table with 4 columns: Efficiency (EDR), Total (EDR), Compliance Margin, Total (EDR).
Rows: Standard Design, Proposed Design.
RESULTS: 3 COMPLIES

Table with 4 columns: Energy Use (kWh/yr), Standard Design, Proposed Design, Compliance Margin, Percent Improvement.
Rows: Space Heating, Space Cooling, IAQ Ventilation, Water Heating, Self Utilization/Flexibility Credit, Compliance Energy Total.

Table with 12 columns: 01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12.
Rows: DC System Size (kWhdc), Exception, Module Type, Array Type, Power Electronics, CFI, Azimuth (deg), Tilt Input, Array Angle (deg), Tilt: [x in 12], Inverter Eff. (%), Annual Solar Access (%).

Registration Number: 221-P0101357-10A-000-000-0000000-0000
Registration Date/Time: 2021-07-02 09:53:40
HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
Project Name: Rebuilt Two Story house
Calculation Description: Title 24 Analysis
Table: REQUIRED SPECIAL FEATURES

Table with 7 columns: 01, 02, 03, 04, 05, 06, 07.
Rows: Project Name, Conditioned Floor Area (ft²), Number of Dwelling Units, Number of Bedrooms, Number of Zones, Number of Ventilation Cooling Systems, Number of Water Heating Systems.

Registration Number: 221-P0101357-10A-000-000-0000000-0000
Registration Date/Time: 2021-07-02 09:53:40
HERS Provider: CalCERTS, Inc.

2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Interior Switches and Controls, Residential Outdoor Lighting, Interior Switches and Controls, and Solar Ready Buildings.

2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Requirements for Ventilation and Indoor Air Quality, Pool and Spa Systems and Equipment Measures, and Lighting Measures.

RESIDENTIAL MEASURES SUMMARY

Summary table for residential measures including Project Name, Building Type, Construction Type, Fenestration Orientation Area, HVAC Systems, and HVAC Distribution.

CERTIFICATE OF COMPLIANCE

Certificate of Compliance form for Project Name: Rebuilt Two Story house. Includes HVAC Distribution - HERS Verification table and IAQ (Indoor Air Quality) FANS table.

CERTIFICATE OF COMPLIANCE

Certificate of Compliance form for Project Name: Rebuilt Two Story house. Includes HVAC Distribution - HERS Verification table and IAQ (Indoor Air Quality) FANS table.

2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Clearances, Liquid Line Drier, Storage Tank Insulation, Water Piping, and Ducts and Fan Measures.

2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Clearances, Liquid Line Drier, Storage Tank Insulation, Water Piping, and Ducts and Fan Measures.

2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Clearances, Liquid Line Drier, Storage Tank Insulation, Water Piping, and Ducts and Fan Measures.

CERTIFICATE OF COMPLIANCE

Certificate of Compliance form for Project Name: Rebuilt Two Story house. Includes HVAC Distribution - HERS Verification table and IAQ (Indoor Air Quality) FANS table.

CERTIFICATE OF COMPLIANCE

Certificate of Compliance form for Project Name: Rebuilt Two Story house. Includes HVAC Distribution - HERS Verification table and IAQ (Indoor Air Quality) FANS table.

Project information including Project Name, Address, and contact details for Ranpei, Roberto Antonio Pena Lopez.

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2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Interior Switches and Controls, Residential Outdoor Lighting, Pool and Spa Systems, and Solar Ready Buildings.

2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Requirements for Ventilation and Indoor Air Quality, Lighting Measurements, and HVAC Systems.

RESIDENTIAL MEASURES SUMMARY table for 'Rebuild Two Story house'. Includes project details, insulation construction table, fenestration table, and HVAC systems table.

CERTIFICATE OF COMPLIANCE for 'Rebuild Two Story house'. Includes project name, calculation date, and HVAC cooling - HERS verification table.

CERTIFICATE OF COMPLIANCE for 'Rebuild Two Story house'. Includes project name, calculation date, and HVAC fan systems - HERS verification table.

2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Clearances, Water Heating Systems, and Ducts and Fan Measures.

2019 Low-Rise Residential Mandatory Measures Summary

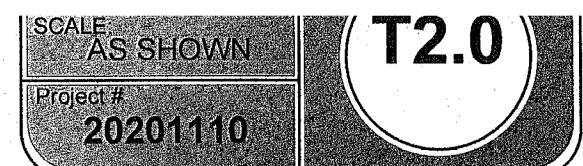
Table with 2 columns: Measure ID and Description. Includes sections for Building Envelope Measures, Fireplaces, and Space Conditioning.

CERTIFICATE OF COMPLIANCE for 'Rebuild Two Story house'. Includes project name, calculation date, and documentation author's declaration section.



Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 221-P010135710A-000-000-00000-0000. Registration Date/Time: 2021-07-02 00:53:40. HERS Provider: CalCERTS Inc.





2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Interior Switches and Controls, Residential Outdoor Lighting, and Solar Ready Buildings.



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Clearances, Storage Tank Insulation, Water Piping, Insulation Protection, Gas or Propane Water Heating Systems, Ducts and Fans Measures, and HVAC Systems.

RESIDENTIAL MEASURES SUMMARY RMS-1

Summary table for Residential Measures. Includes sections for Accessory Building, INSULATION, FENESTRATION, HVAC SYSTEMS, HVAC DISTRIBUTION, and WATER HEATING.



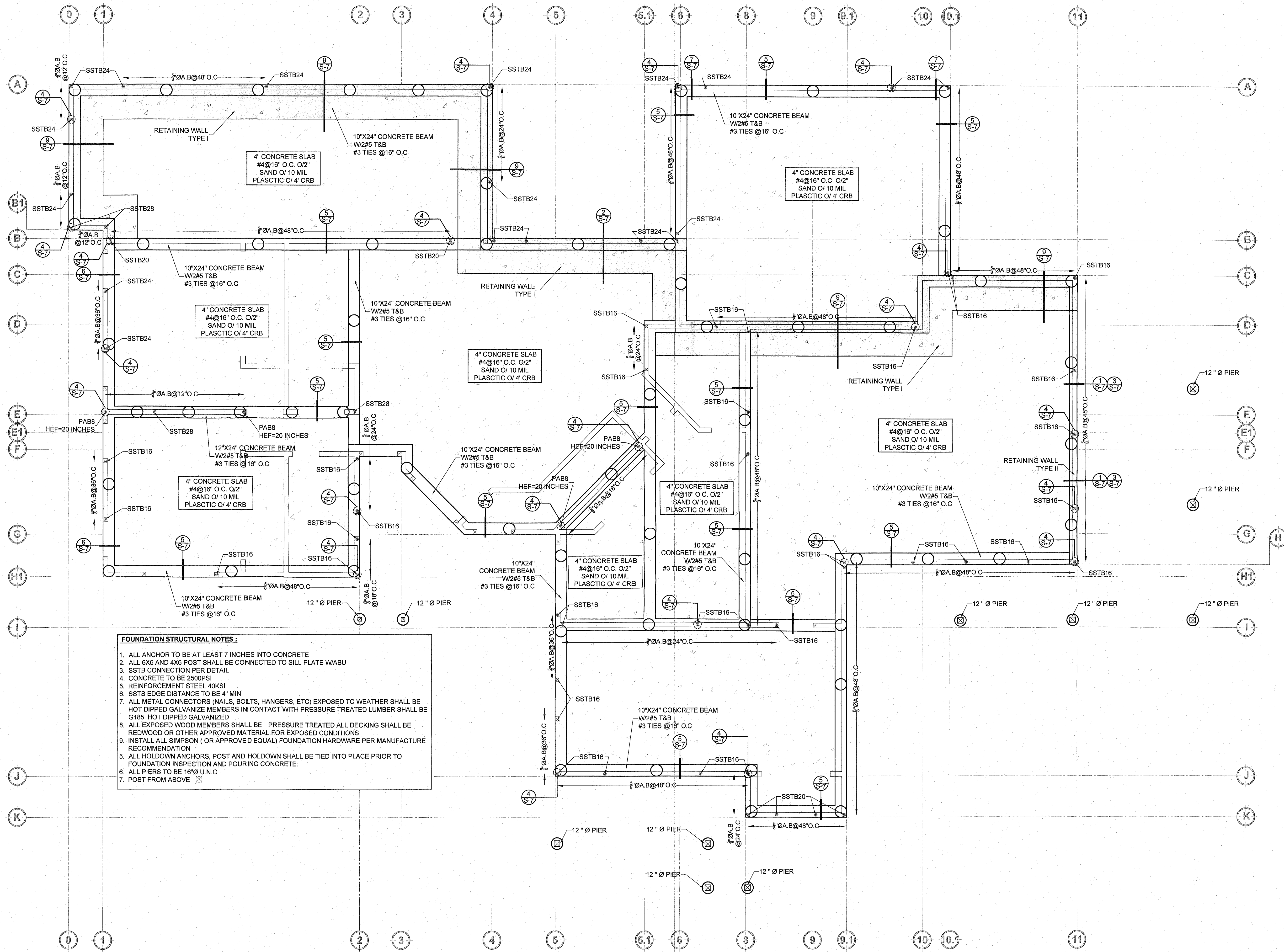
2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Requirements for Ventilation and Indoor Air Quality, Pool and Spa Systems and Equipment Measures, and Lighting Measures.



2019 Low-Rise Residential Mandatory Measures Summary

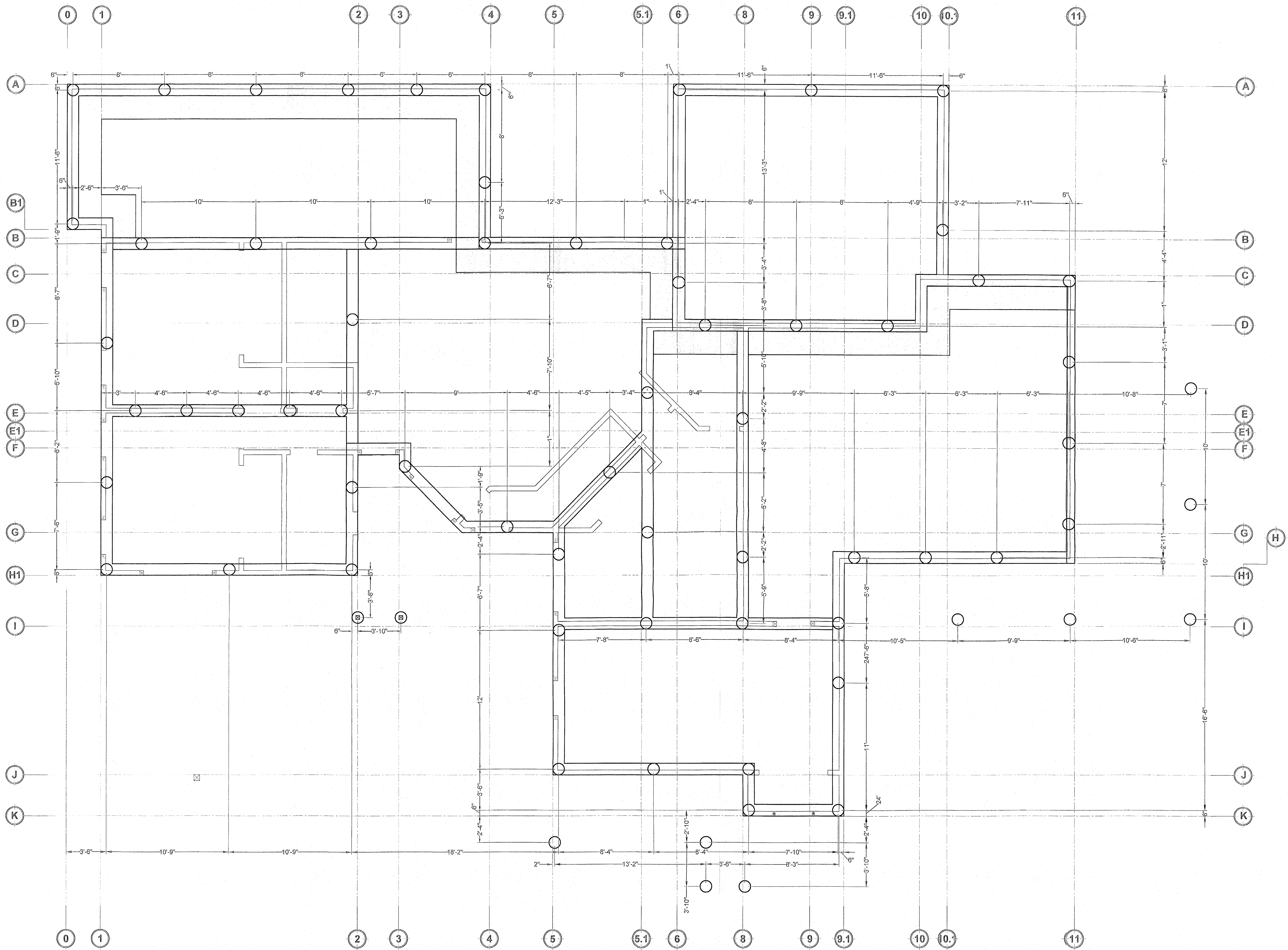
Table with 2 columns: Measure ID and Description. Includes sections for Building Envelope Measures, Fireplaces, Decorative Gas Appliances, and Space Conditioning, Water Heating, and Plumbing System Measures.



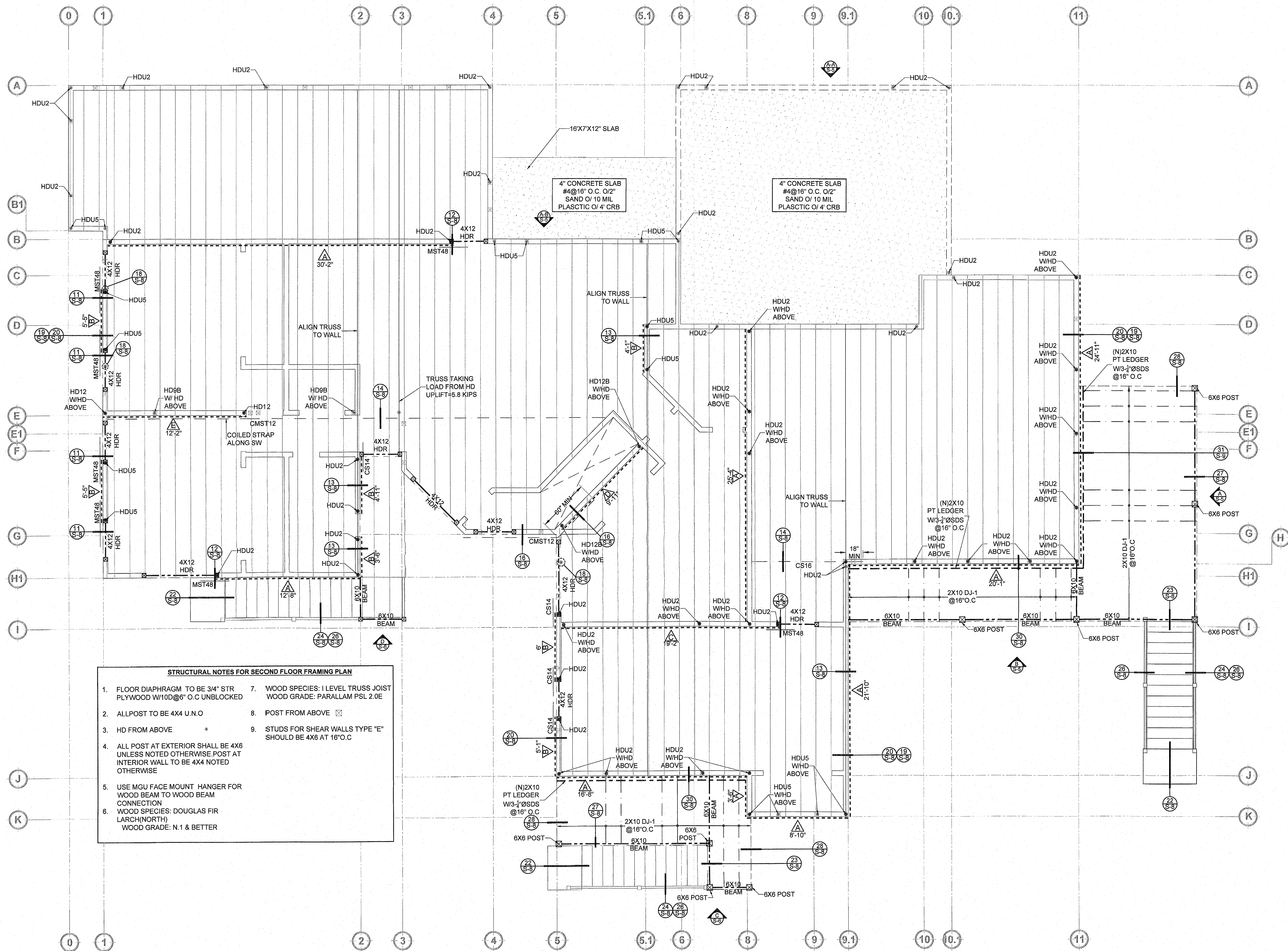
FOUNDATION STRUCTURAL NOTES:

1. ALL ANCHOR TO BE AT LEAST 7 INCHES INTO CONCRETE
2. ALL 6X6 AND 4X8 POST SHALL BE CONNECTED TO SILL PLATE W/ABU
3. SSTB CONNECTION PER DETAIL
4. CONCRETE TO BE 2500PSI
5. REINFORCEMENT STEEL 40KSI
6. SSTB EDGE DISTANCE TO BE 4" MIN
7. ALL METAL CONNECTORS (NAILS, BOLTS, HANGERS, ETC) EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZE MEMBERS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE G185 HOT DIPPED GALVANIZED
8. ALL EXPOSED WOOD MEMBERS SHALL BE PRESSURE TREATED ALL DECKING SHALL BE REDWOOD OR OTHER APPROVED MATERIAL FOR EXPOSED CONDITIONS
9. INSTALL ALL SIMPSON (OR APPROVED EQUAL) FOUNDATION HARDWARE PER MANUFACTURE RECOMMENDATION
5. ALL HOLDDOWN ANCHORS, POST AND HOLDOWN SHALL BE TIED INTO PLACE PRIOR TO FOUNDATION INSPECTION AND POURING CONCRETE.
6. ALL PIERS TO BE 16" U.N.O
7. POST FROM ABOVE

FOUNDATION AND LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

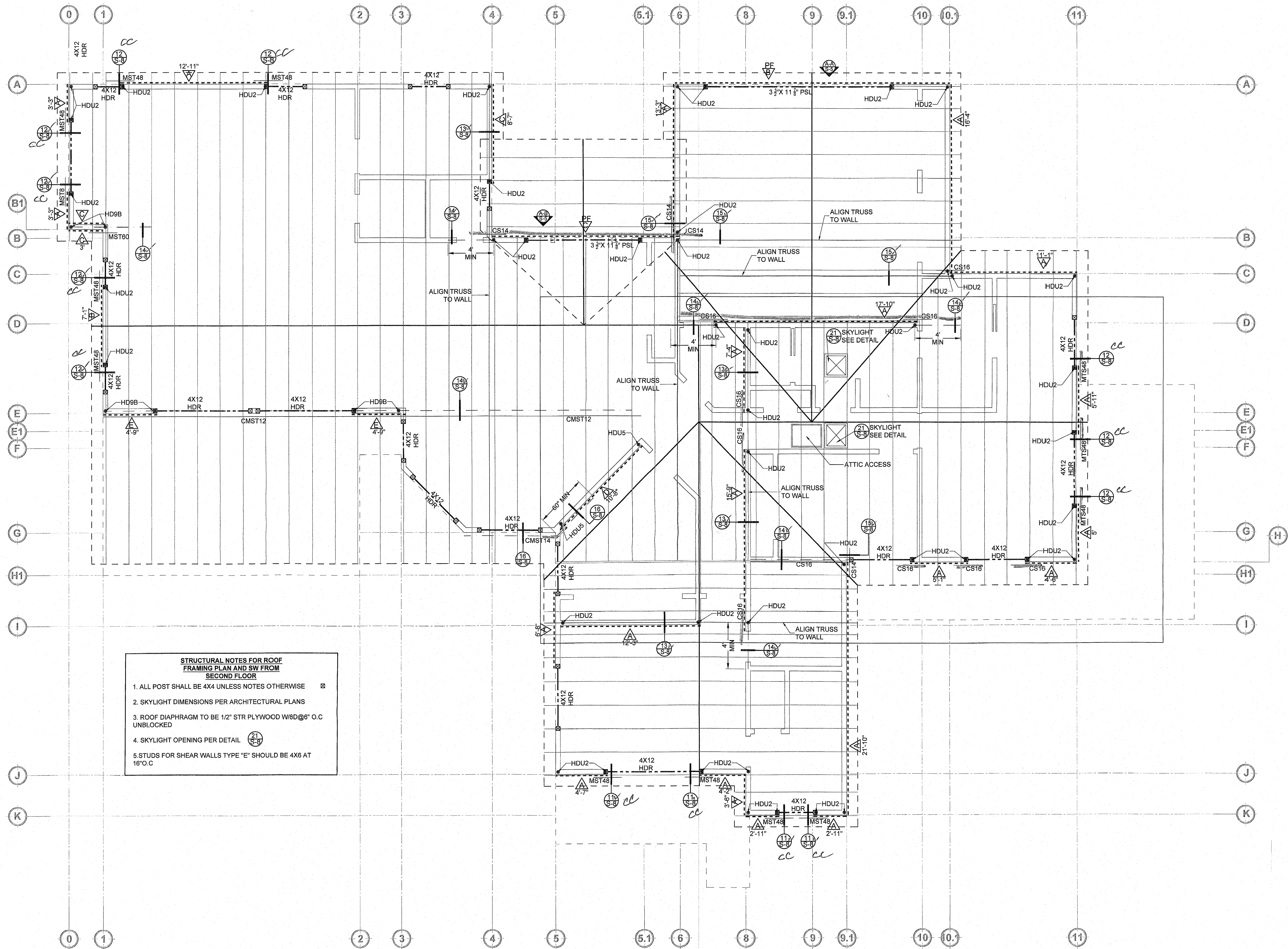


FOUNDATION PLAN W/PIER REFERENCE
SCALE: 1/4" = 1'-0"



- STRUCTURAL NOTES FOR SECOND FLOOR FRAMING PLAN**
- FLOOR DIAPHRAGM TO BE 3/4" STR PLYWOOD W/10D@6" O.C UNBLOCKED
 - ALLPOST TO BE 4X4 U.N.O
 - HD FROM ABOVE *
 - ALL POST AT EXTERIOR SHALL BE 4X6 UNLESS NOTED OTHERWISE.POST AT INTERIOR WALL TO BE 4X4 NOTED OTHERWISE
 - USE MGU FACE MOUNT HANGER FOR WOOD BEAM TO WOOD BEAM CONNECTION
 - WOOD SPECIES: DOUGLAS FIR LARCH(NORTH) WOOD GRADE: N.1 & BETTER
 - WOOD SPECIES: I LEVEL TRUSS JOIST WOOD GRADE: PARALLAM PSL 2.0E
 - POST FROM ABOVE ☒
 - STUDS FOR SHEAR WALLS TYPE "E" SHOULD BE 4X6 AT 16"O.C

SECOND FLOOR FRAMING PLAN AND SW FROM LOWER LEVEL
SCALE: 1/4" = 1'-0"

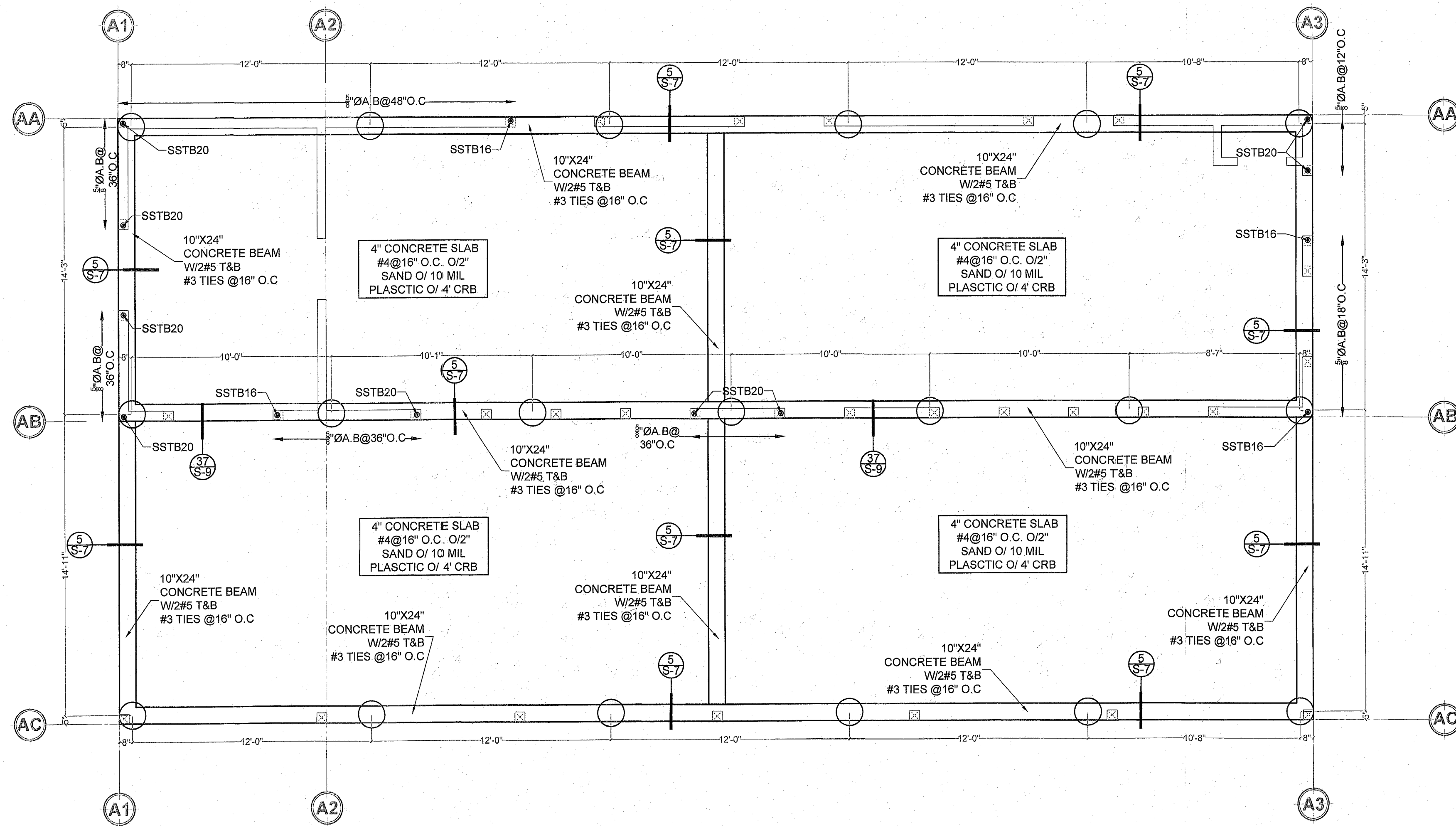


STRUCTURAL NOTES FOR ROOF FRAMING PLAN AND SW FROM SECOND FLOOR

1. ALL POST SHALL BE 4X4 UNLESS NOTES OTHERWISE
2. SKYLIGHT DIMENSIONS PER ARCHITECTURAL PLANS
3. ROOF DIAPHRAGM TO BE 1/2" STR PLYWOOD W/BD@6" O.C UNBLOCKED
4. SKYLIGHT OPENING PER DETAIL
5. STUDS FOR SHEAR WALLS TYPE "E" SHOULD BE 4X6 AT 16" O.C

ROOF FRAMING PLAN AND SW FROM SECOND LEVEL

SCALE: 1/4" = 1'-0"

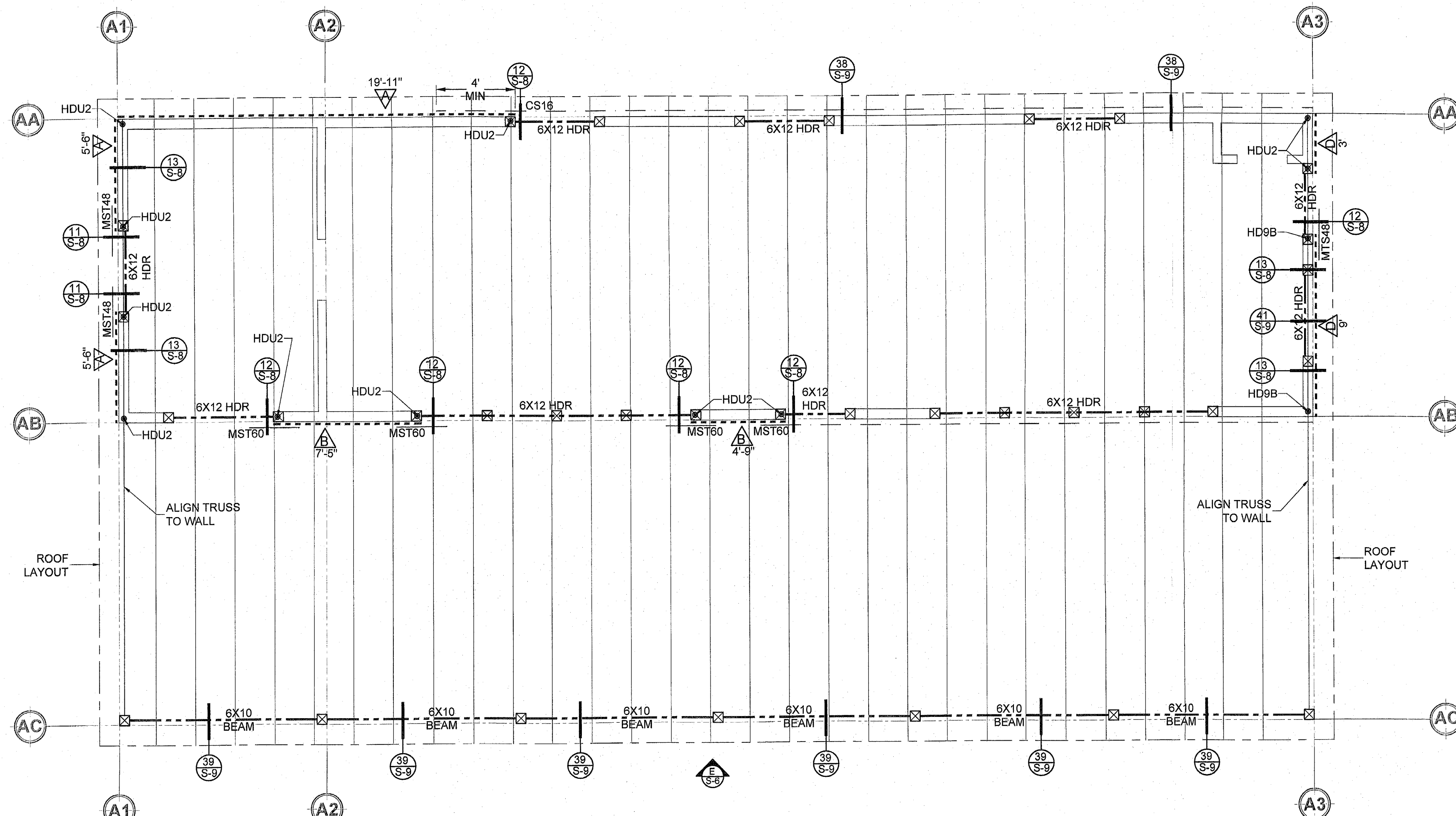


FOUNDATION PLAN AT ACC. BUILDING

SCALE: 1/4" = 1'-0"

FOUNDATION STRUCTURAL NOTES :

1. ALL ANCHOR TO BE AT LEAST 7 INCHES INTO CONCRETE
2. ALL 6X6 AND 4X8 POST SHALL BE CONNECTED TO SILL PLATE WABU
3. SSTB CONNECTION PER DETAIL
4. CONCRETE TO BE 2500PSI
5. REINFORCEMENT STEEL 40KSI
6. SSTB EDGE DISTANCE TO BE 4" MIN
7. ALL METAL CONNECTORS (NAILS, BOLTS, HANGERS, ETC) EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZE MEMBERS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE G185 HOT DIPPED GALVANIZED
8. ALL EXPOSED WOOD MEMBERS SHALL BE PRESSURE TREATED ALL DECKING SHALL BE REDWOOD OR OTHER APPROVED MATERIAL FOR EXPOSED CONDITIONS
9. INSTALL ALL SIMPSON (OR APPROVED EQUAL) FOUNDATION HARDWARE PER MANUFACTURE RECOMMENDATION
5. ALL HOLDOWN ANCHORS, POST AND HOLDOWN SHALL BE TIED INTO PLACE PRIOR TO FOUNDATION INSPECTION AND POURING CONCRETE
6. ALL PIERS TO BE 16"Ø 16"Ø PIER W/4#5 W/TIES #3 @ 12" O.C EMBEDMENT INTO BEARING SOIL-8FT U.N.O
7. POST FROM ABOVE

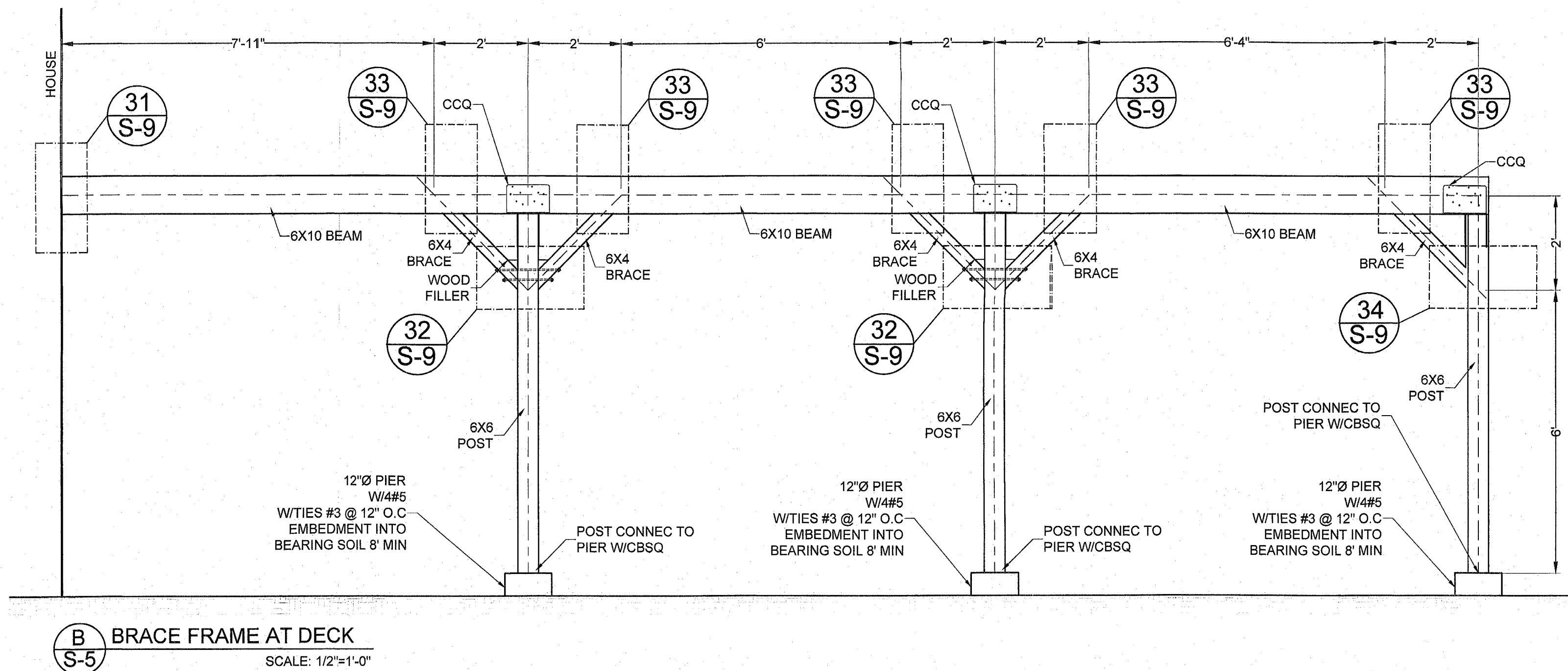
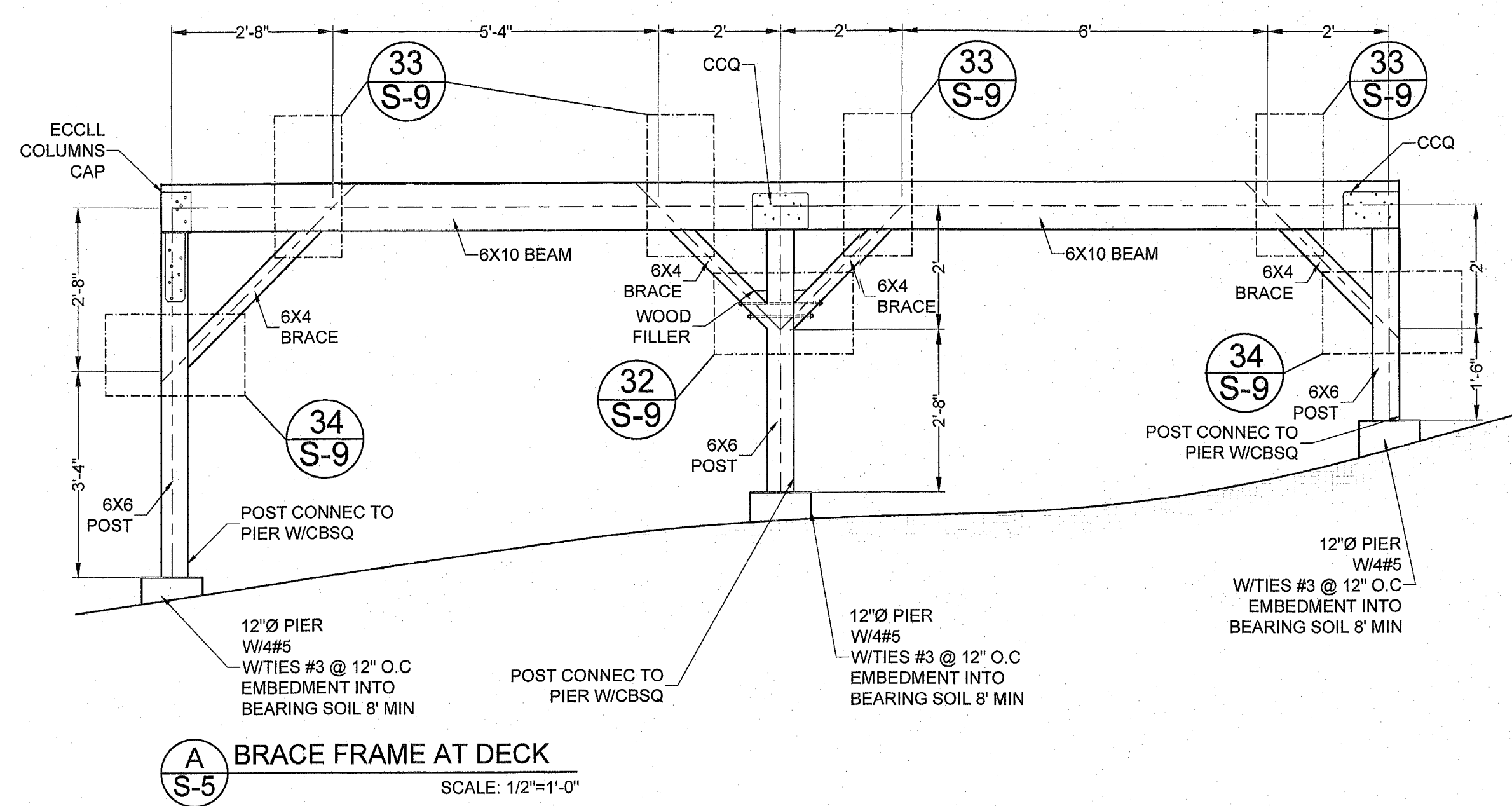
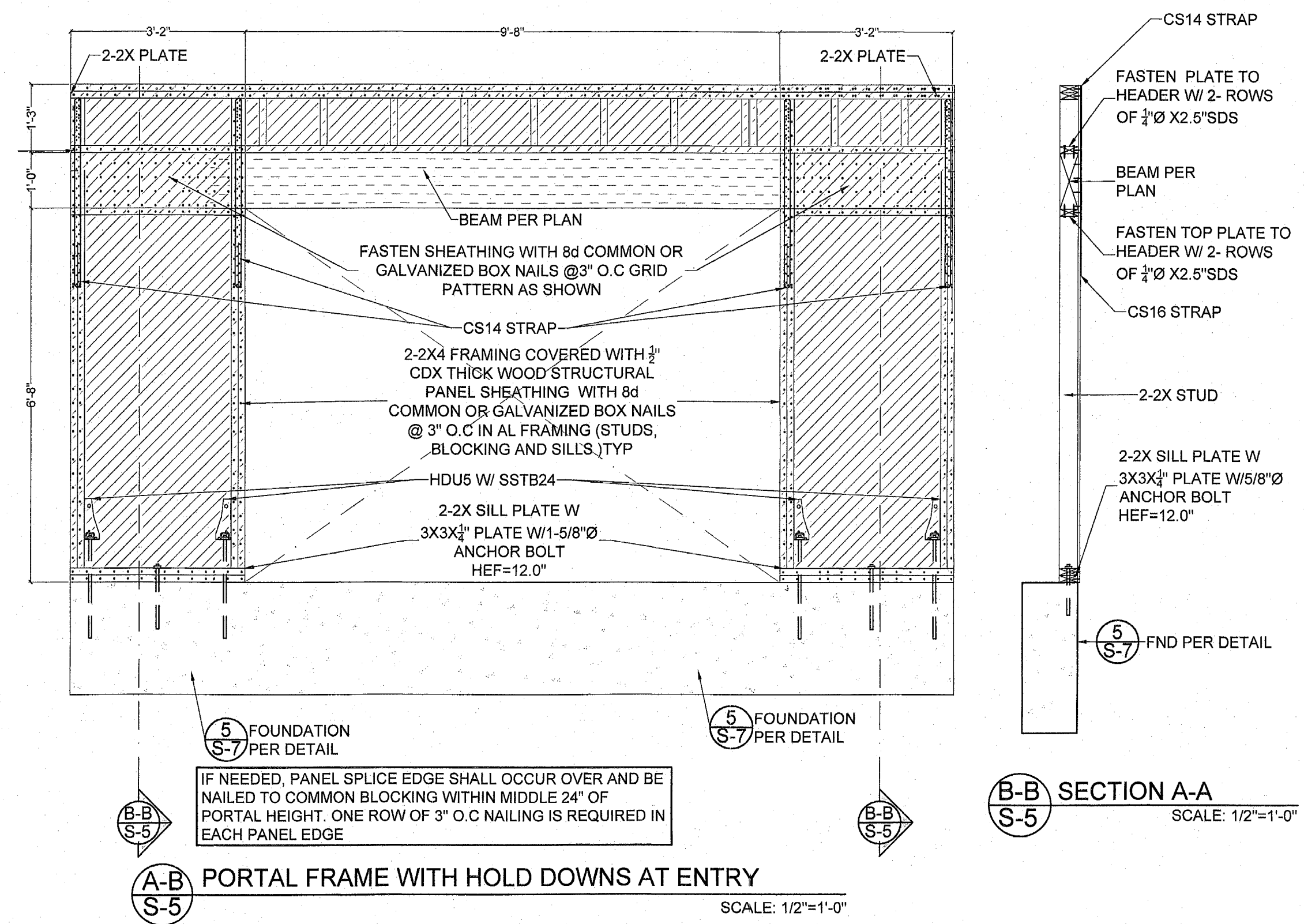
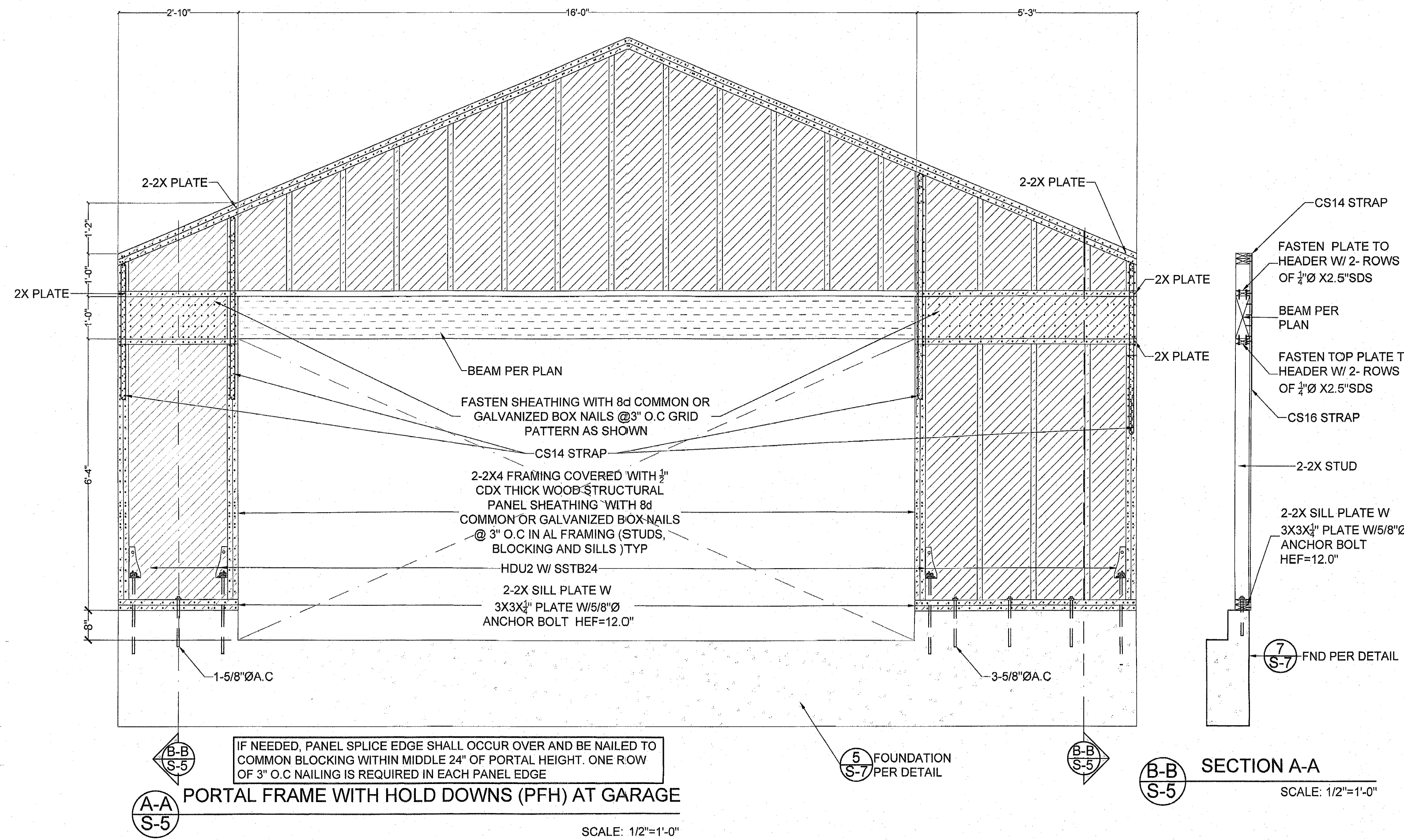


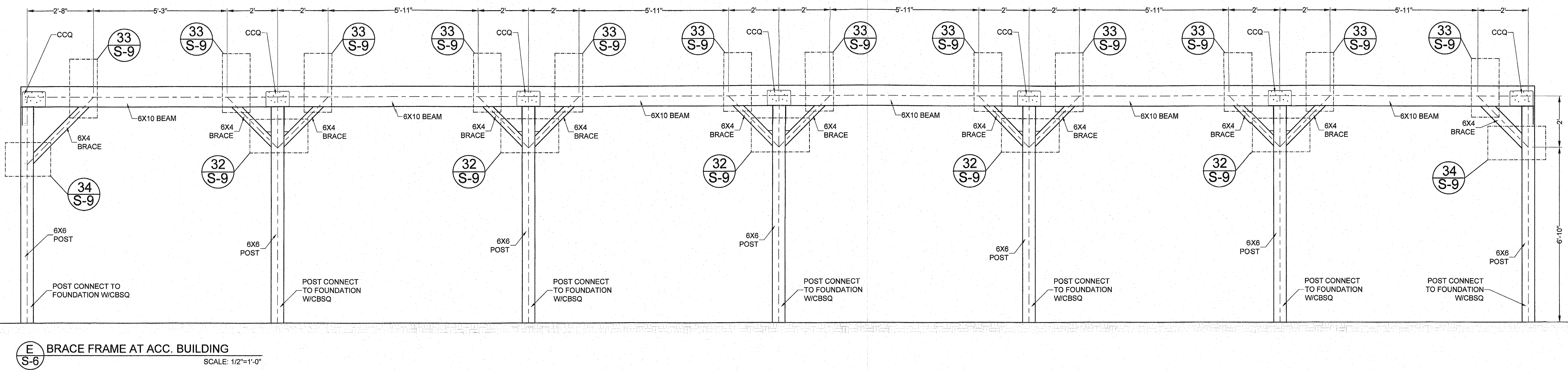
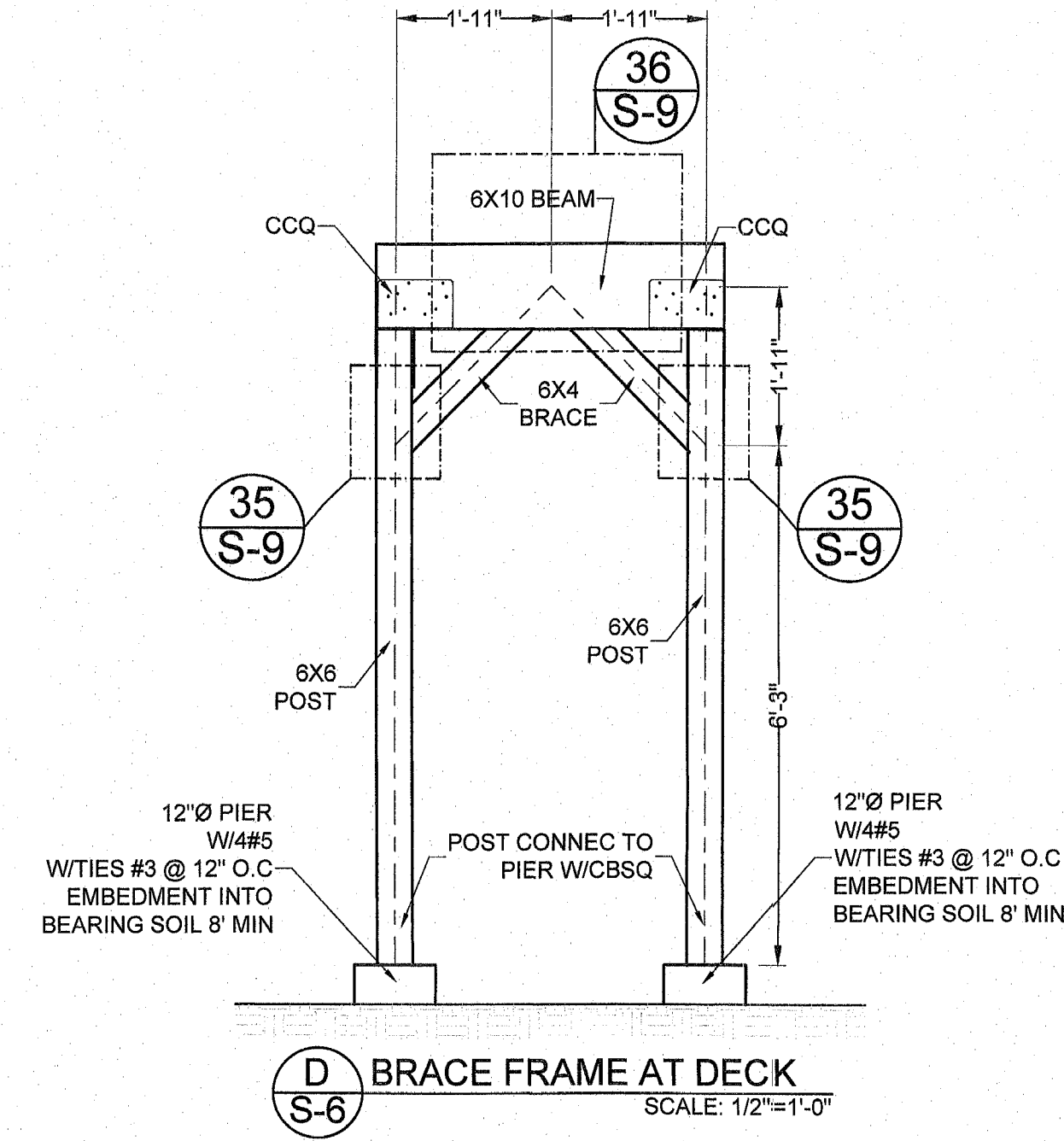
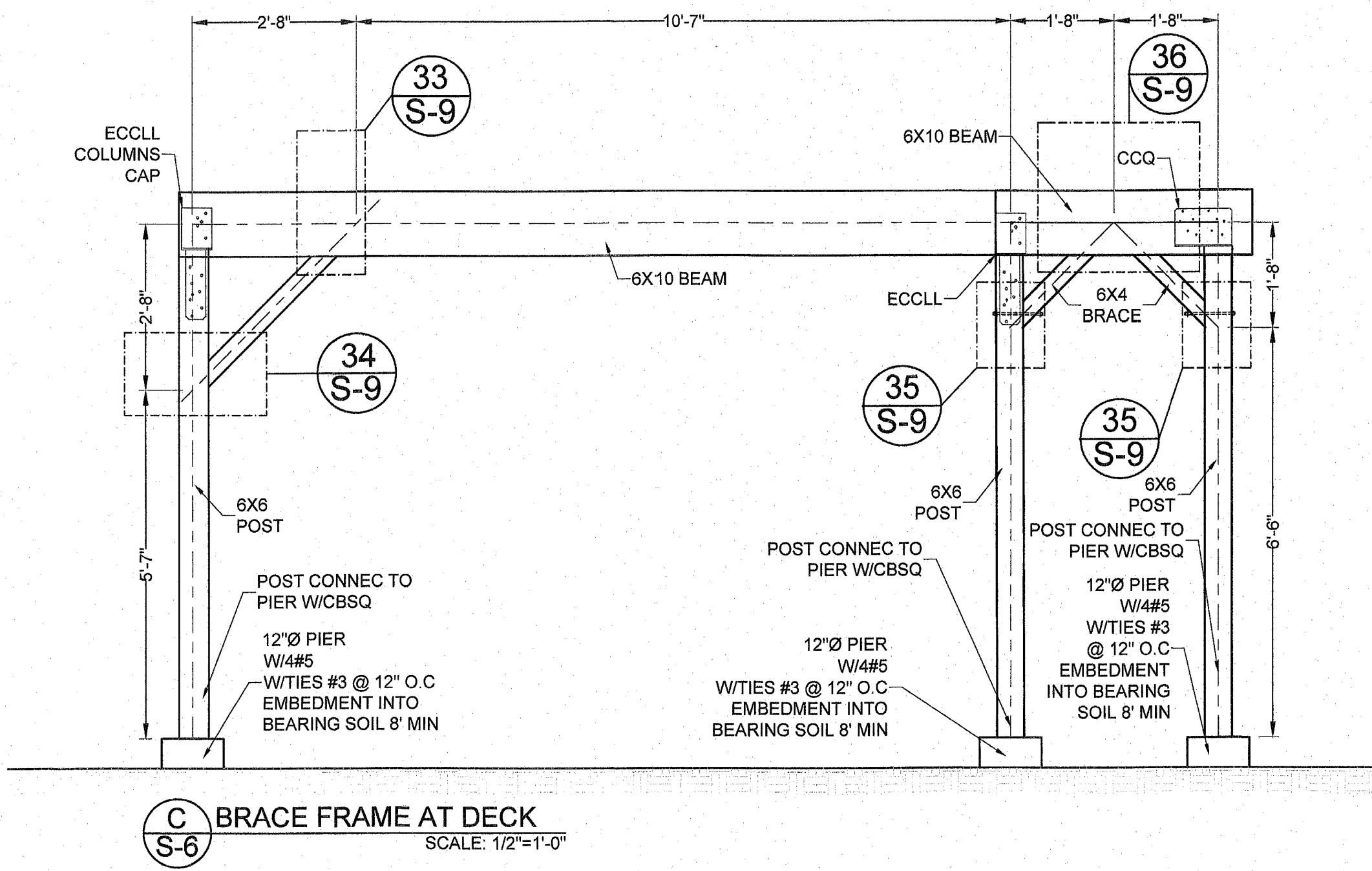
ROOF FRAMING PLAN AND SW

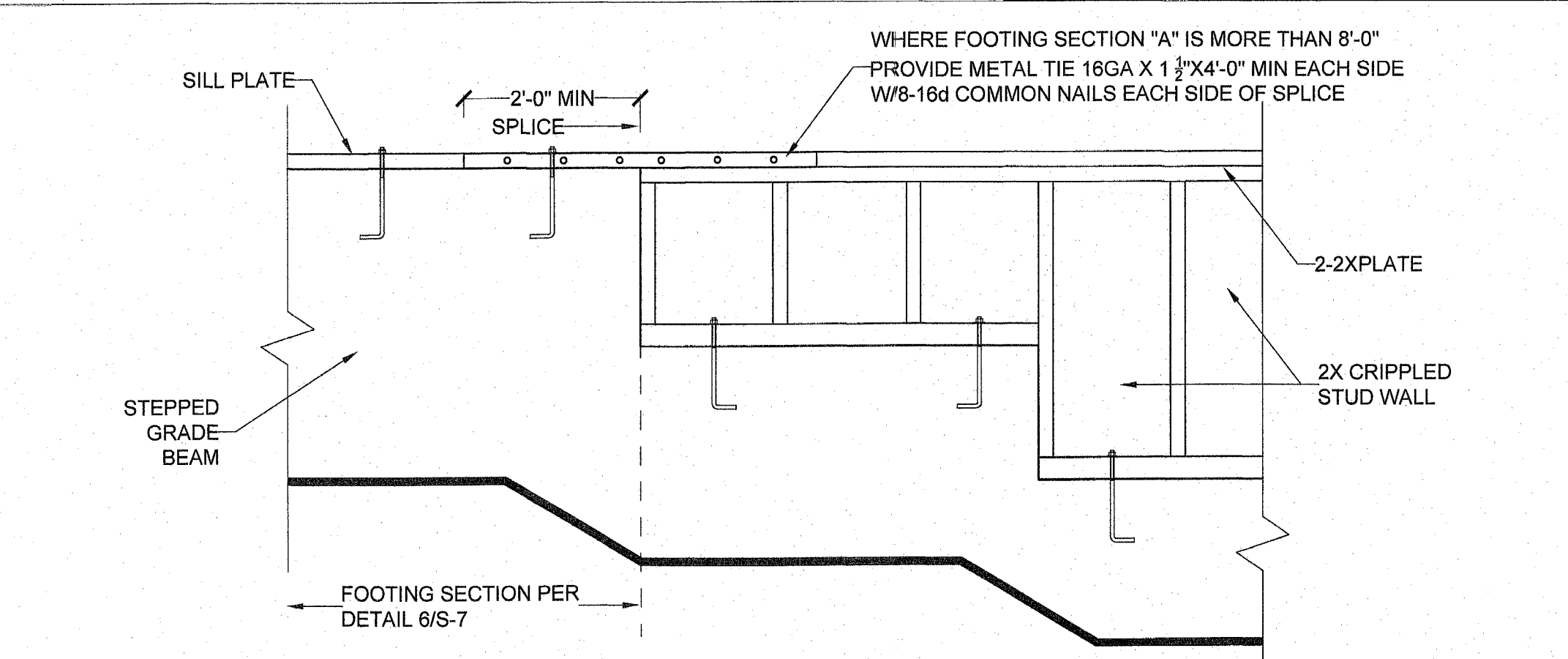
SCALE: 1/4" = 1'-0"

STRUCTURAL NOTES FOR ROOF ACC BUILDING

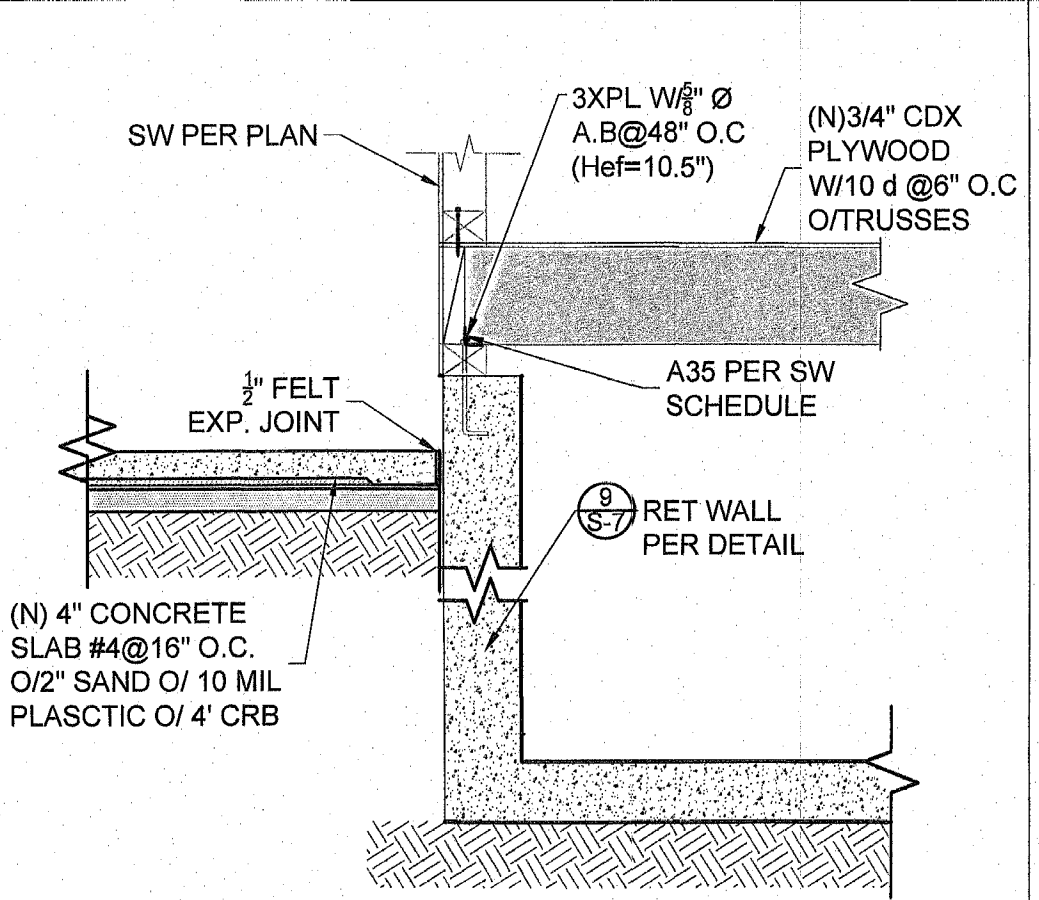
1. ALL POST SHALL BE 6X6 UNLESS NOTES OTHERWISE
2. SKYLIGHT DIMENSIONS PER ARCHITECTURAL PLANS
3. ROOF DIAPHRAGM TO BE 1/2" STR PLYWOOD W/8D@6" O.C UNBLOCKED



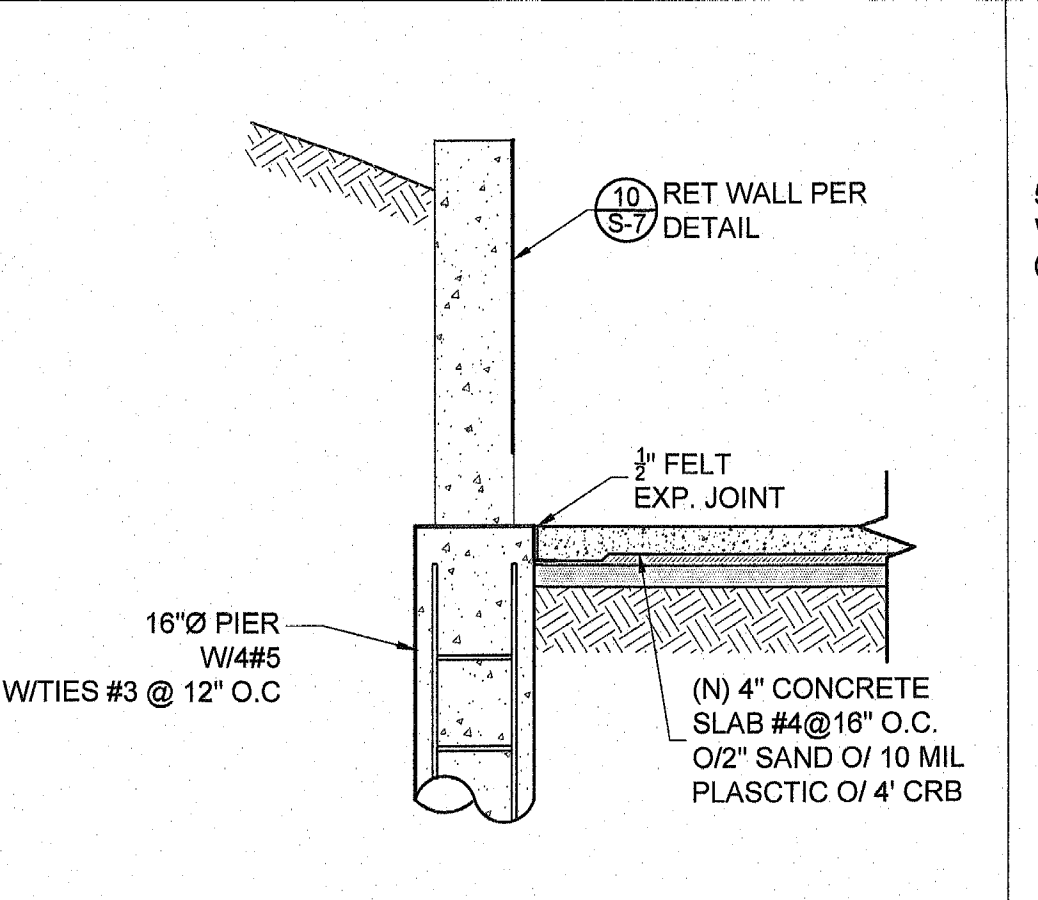




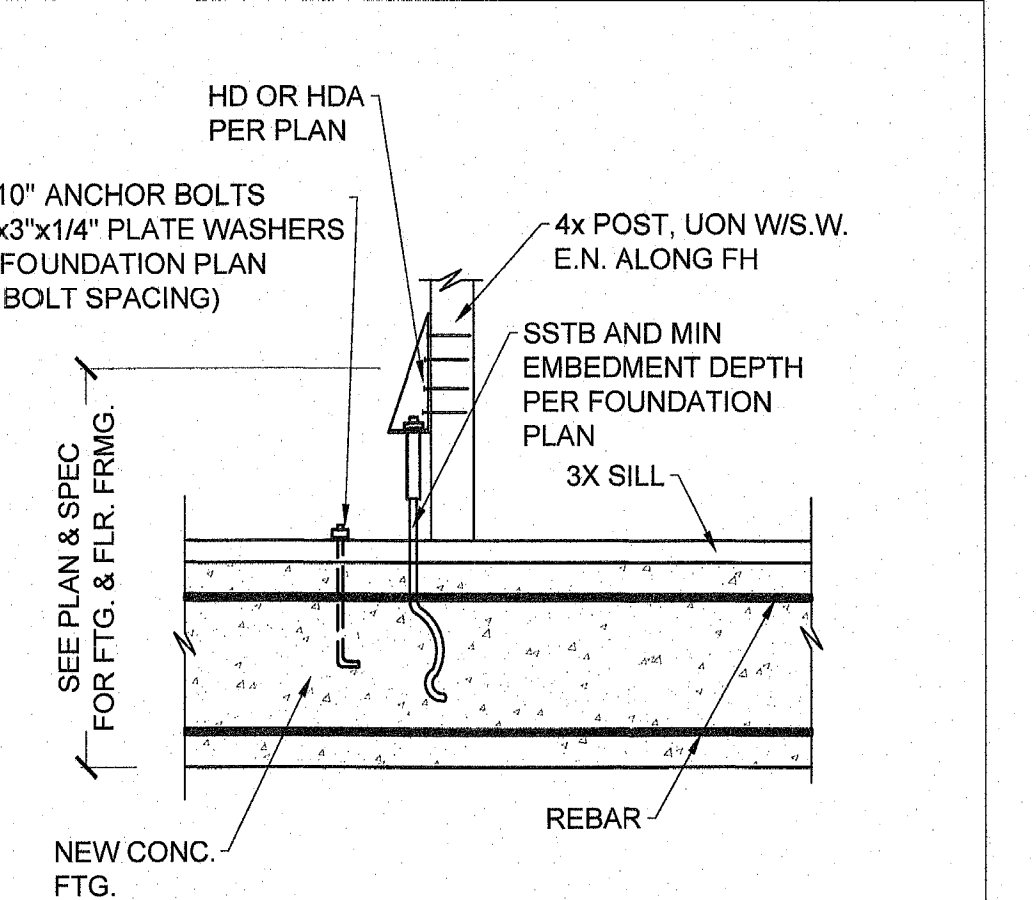
1 STEPPED FOOTING CONNECTION DETAILS
SCALE: NTS
NOTE: WHERE FOOTING SECTION "A" IS LESS THAN 8'-0" LONG IN A 25'-0" TOTAL LENGTH WALL, PROVIDE BRACING AT CRIPPLE STUD WALL



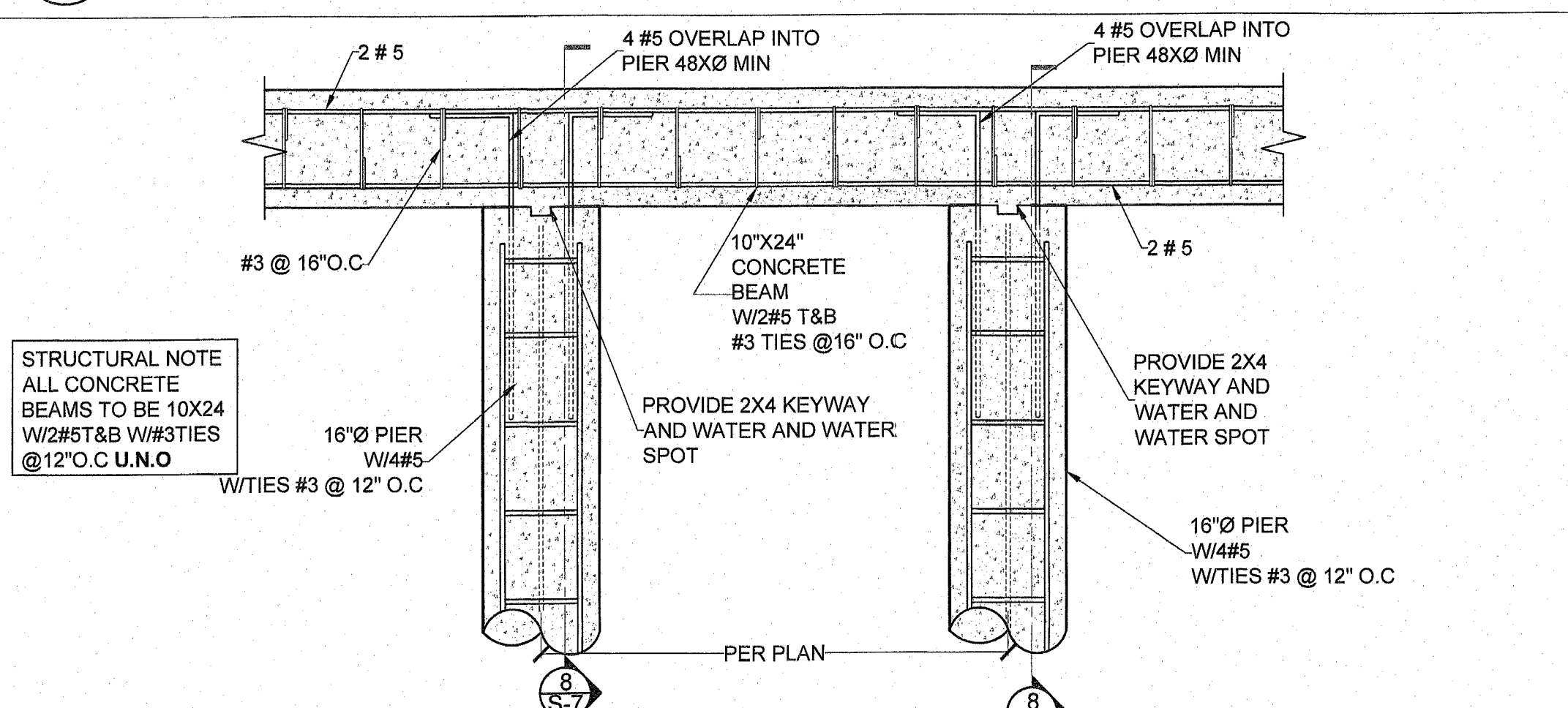
2 CONNECTION DETAIL
SCALE: NTS



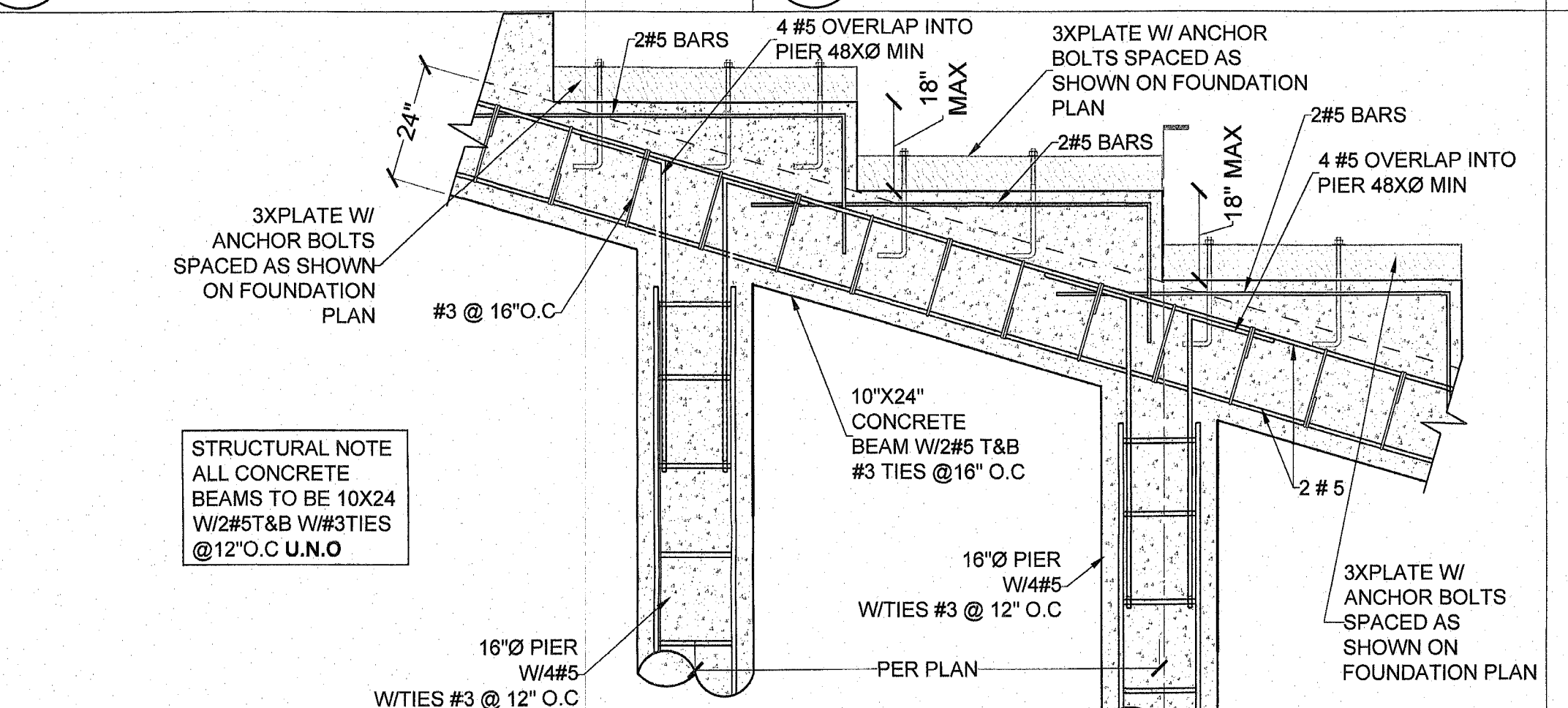
3 CONNECTION DETAIL
SCALE: NTS



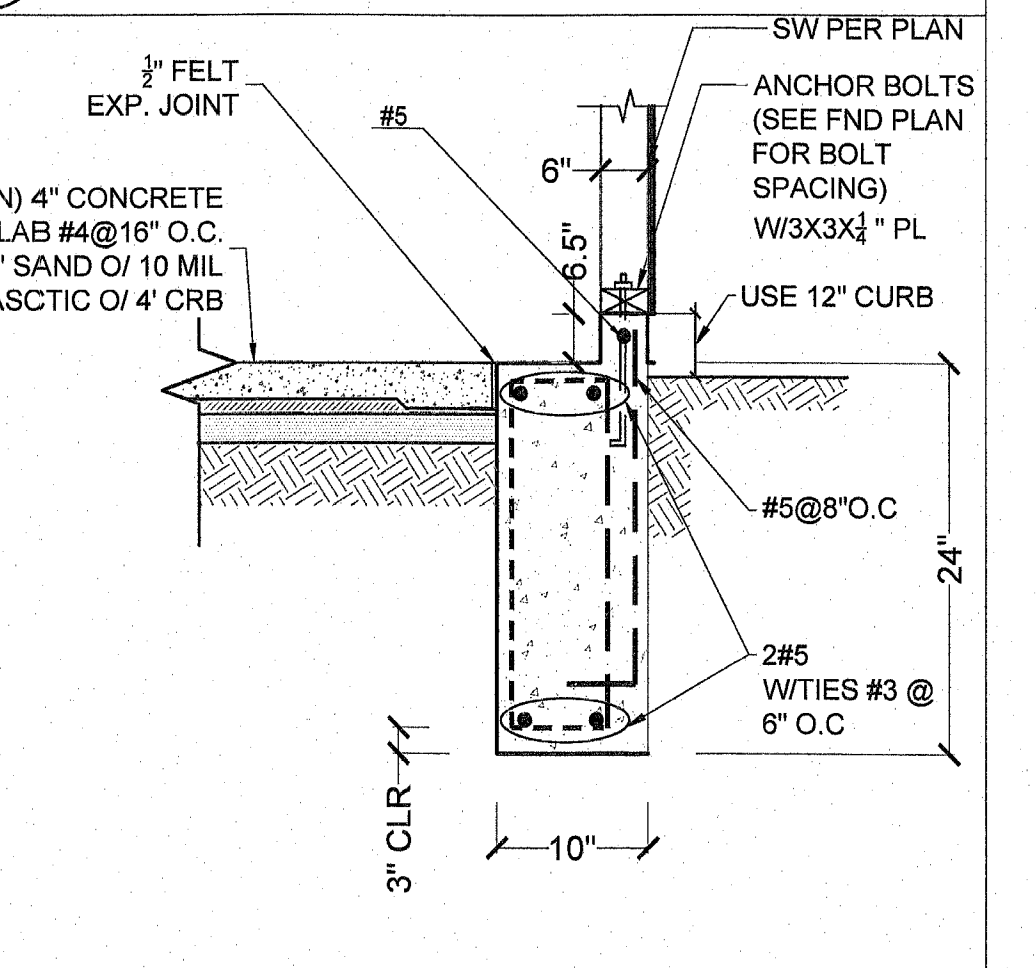
4 FOUNDATION DETAIL
SCALE: NTS



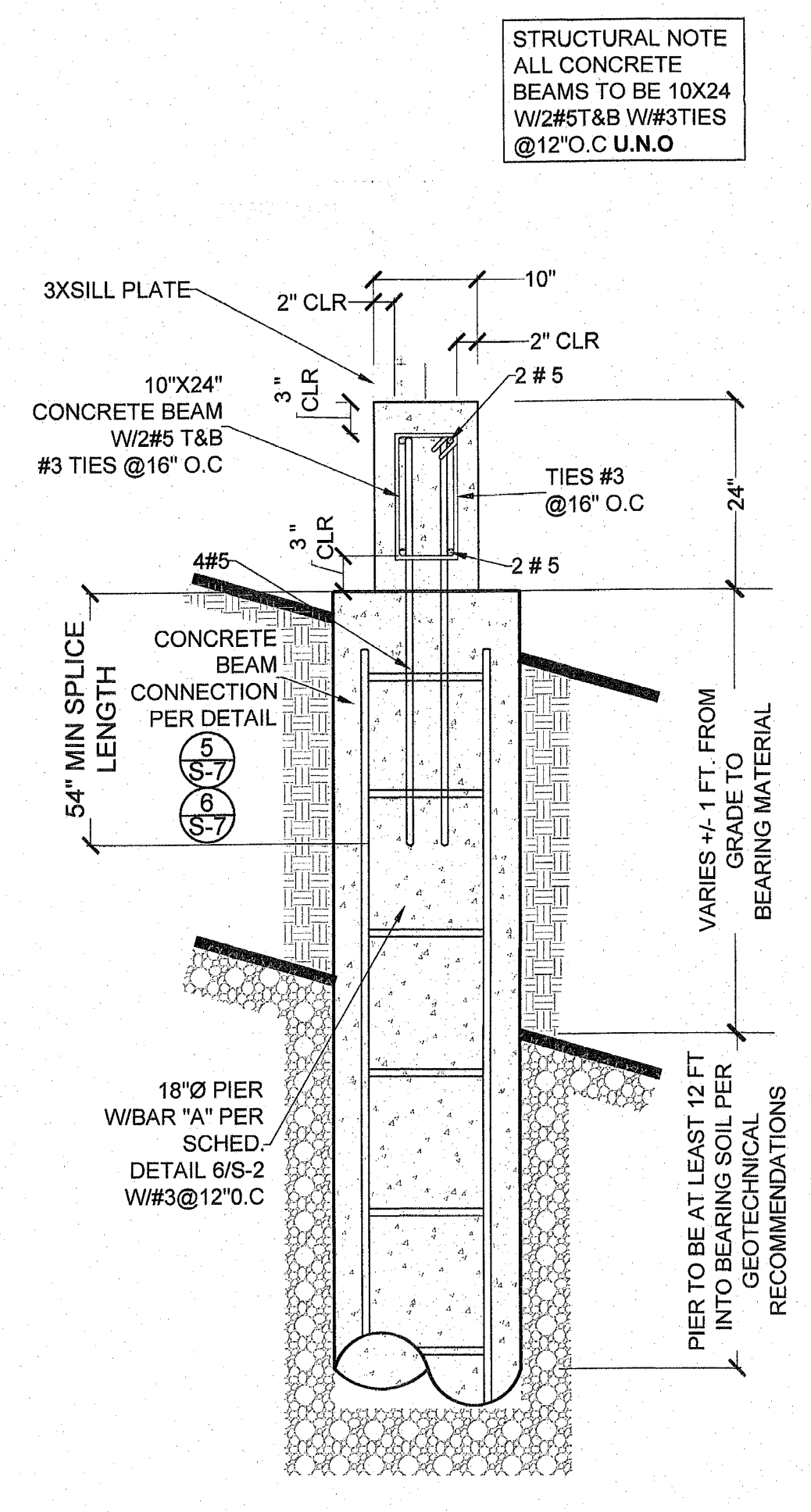
5 GRADE BEAM TO PIER CONNECTION
SCALE: NTS
STRUCTURAL NOTE ALL CONCRETE BEAMS TO BE 10X24 W/2#5T&B W/3TIES @ 12" O.C. U.N.O



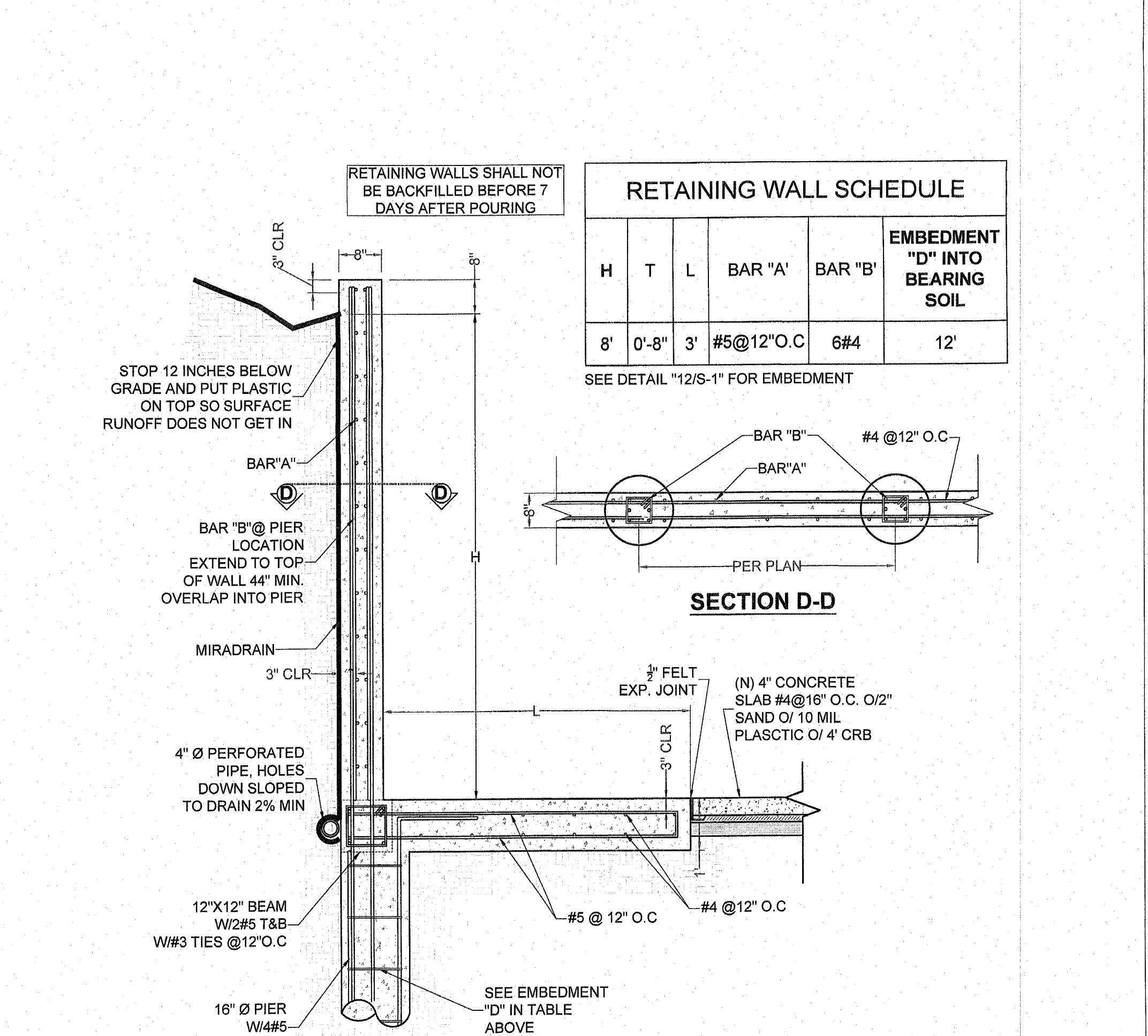
6 GRADE BEAM TO PIER CONNECTION
SCALE: NTS
STRUCTURAL NOTE ALL CONCRETE BEAMS TO BE 10X24 W/2#5T&B W/3TIES @ 12" O.C. U.N.O



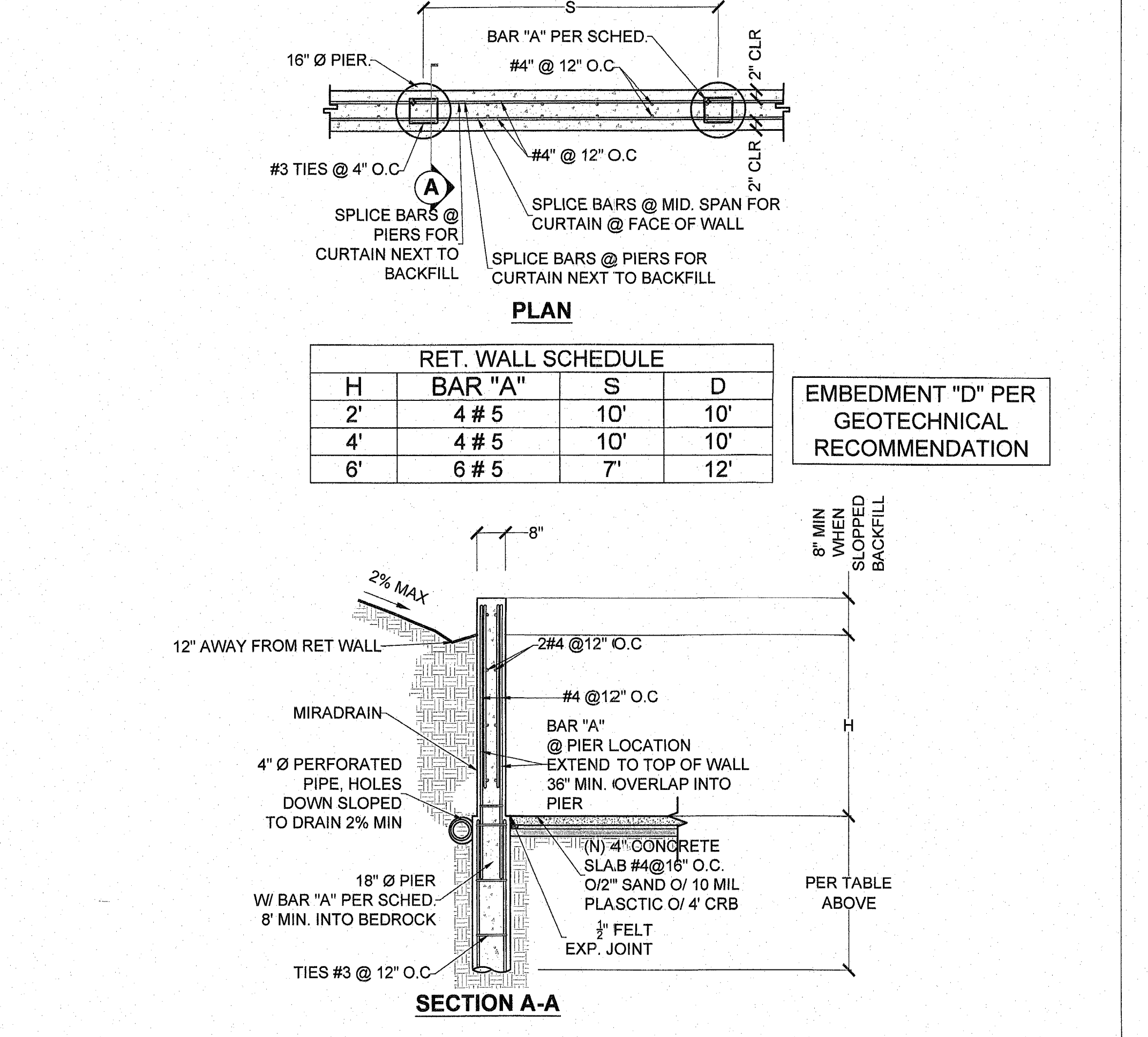
7 FOUNDATION DETAIL
SCALE: NTS



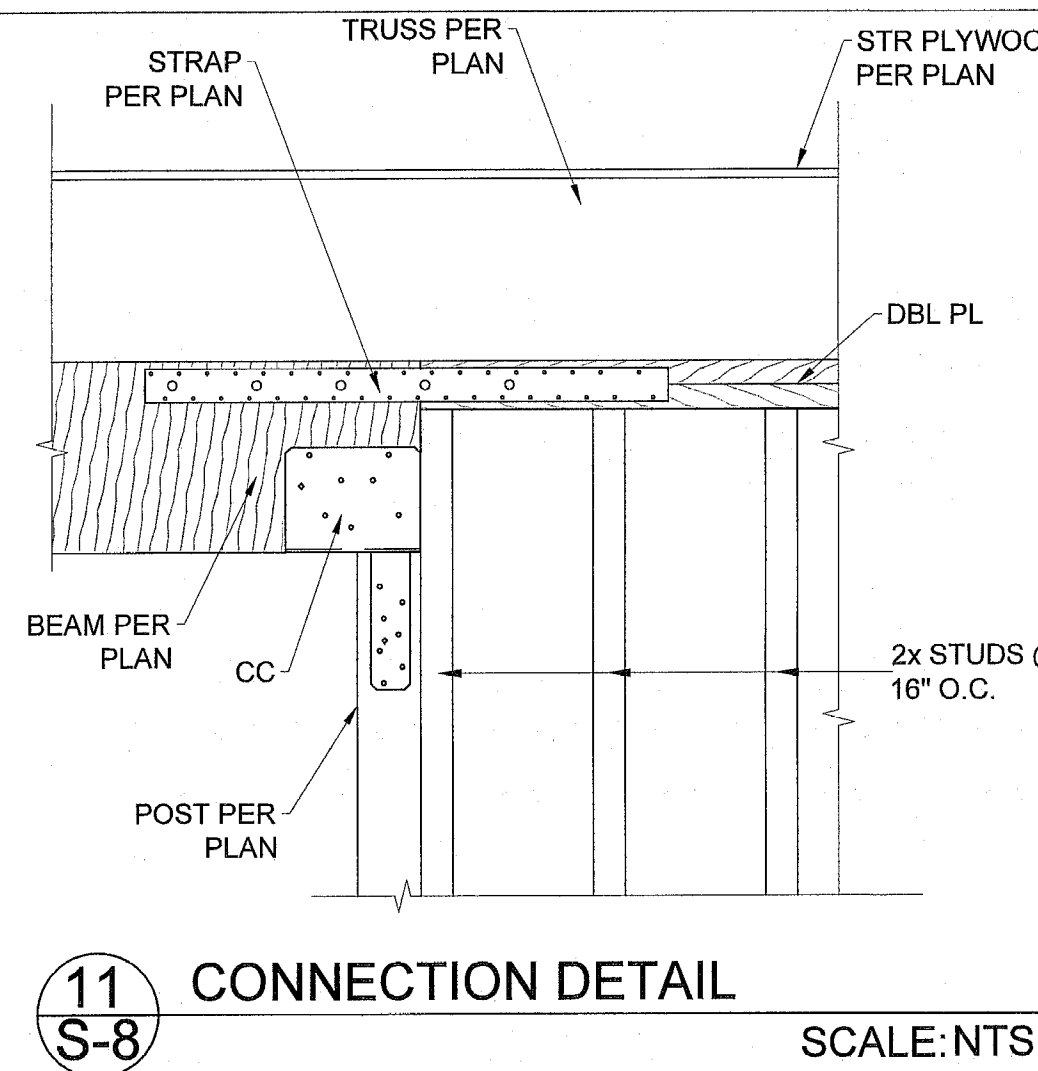
8 TYPE GRADE BEAM TO PIER CONNECTION
SCALE: NTS
STRUCTURAL NOTE ALL CONCRETE BEAMS TO BE 10X24 W/2#5T&B W/3TIES @ 12" O.C. U.N.O



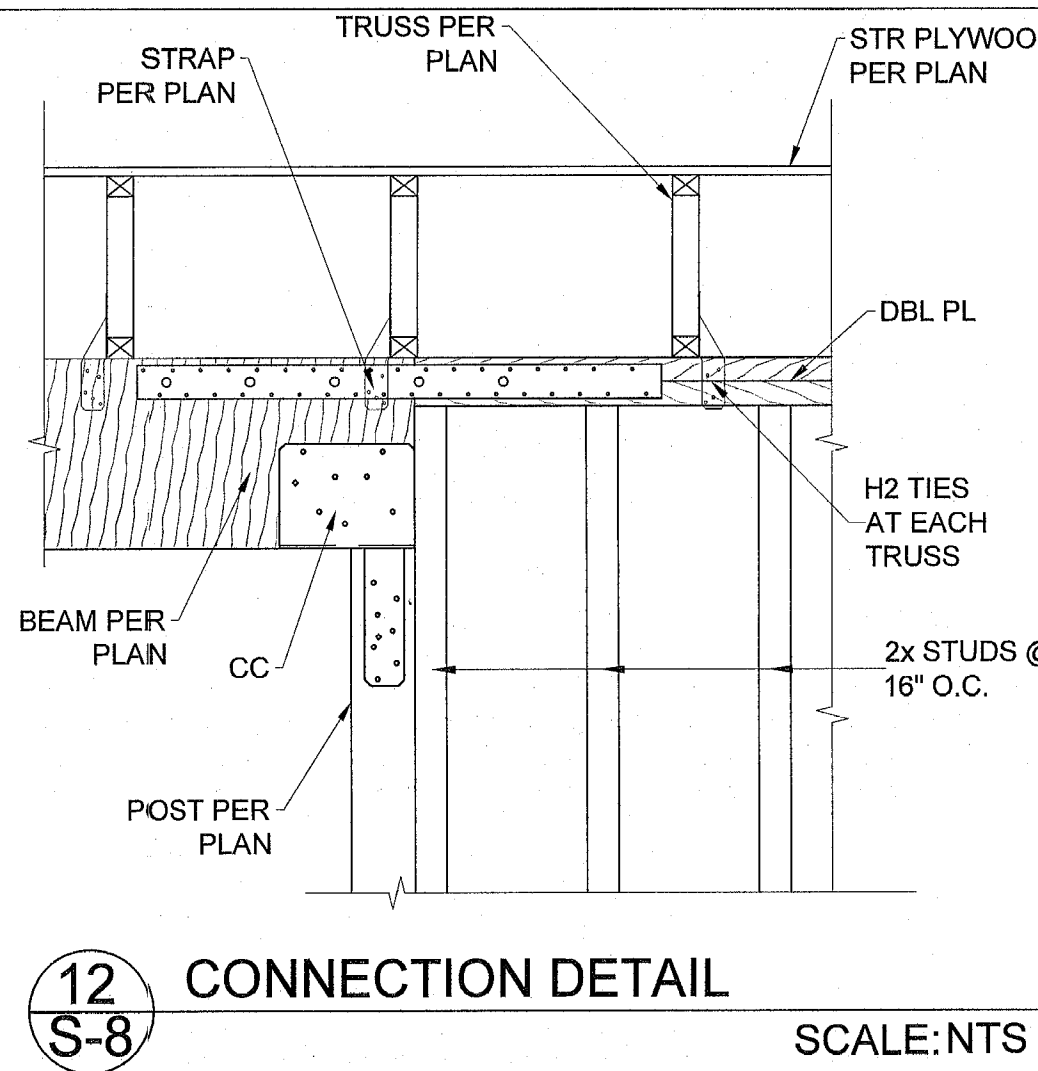
9 RETAINING WALL I
SCALE: 1/2" = 1'-0"



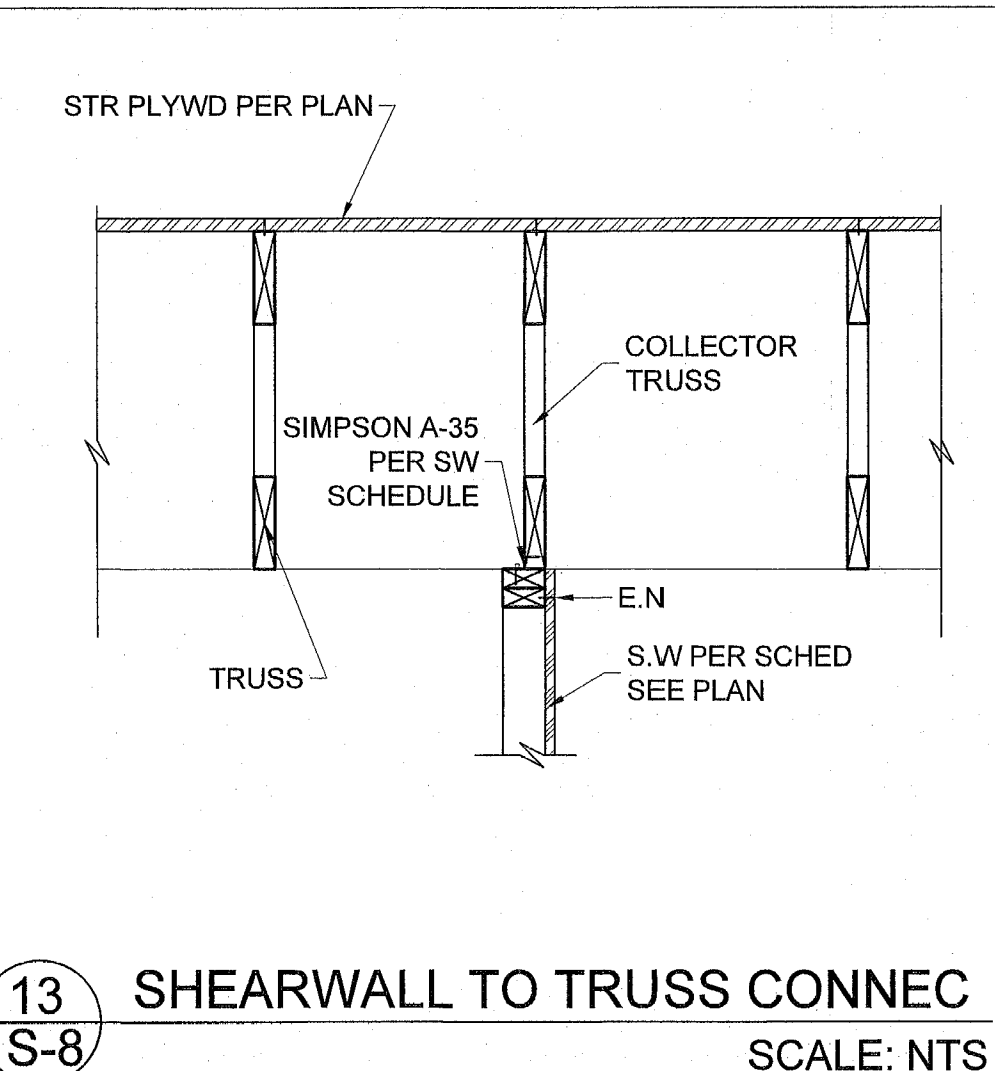
10 RETAINING WALL TYPE II
SCALE: NTS



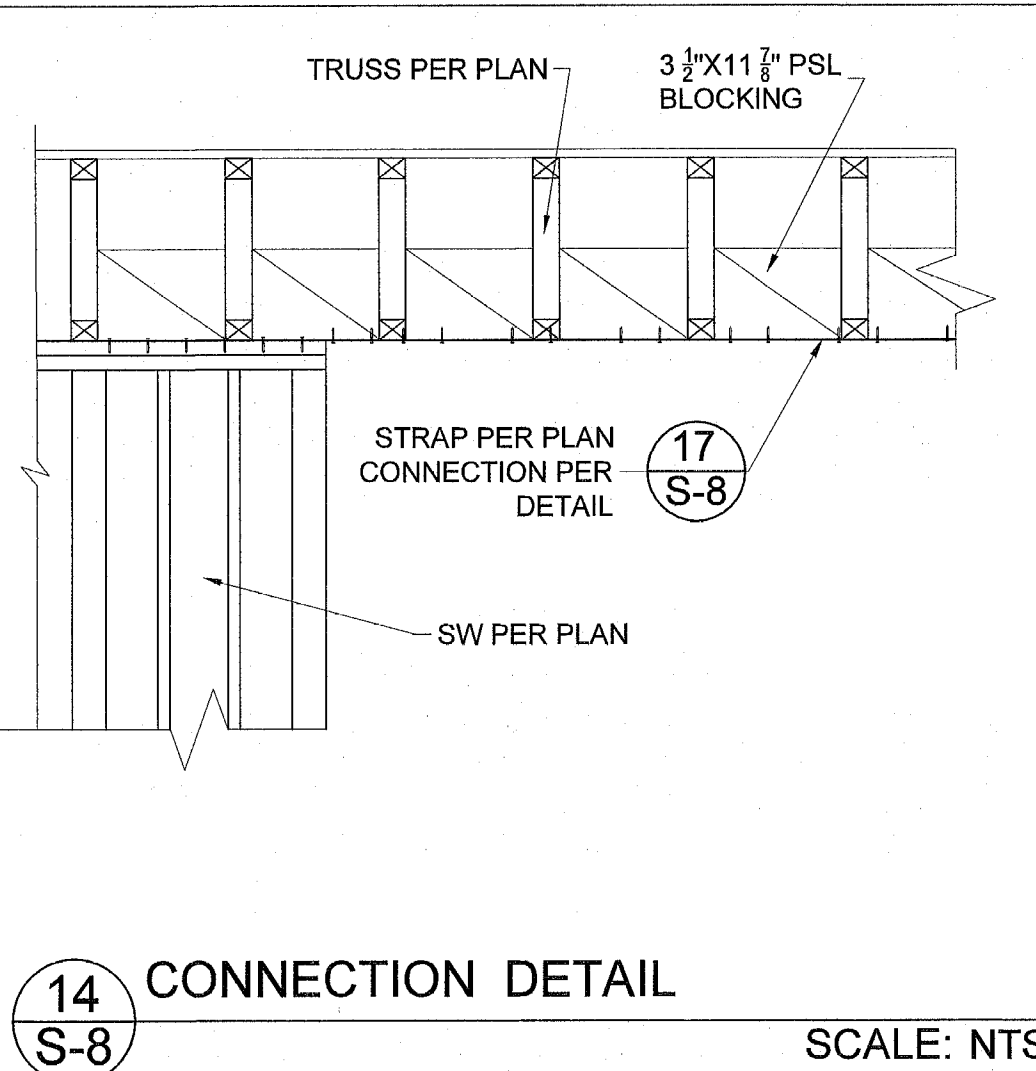
11 CONNECTION DETAIL
SCALE: NTS



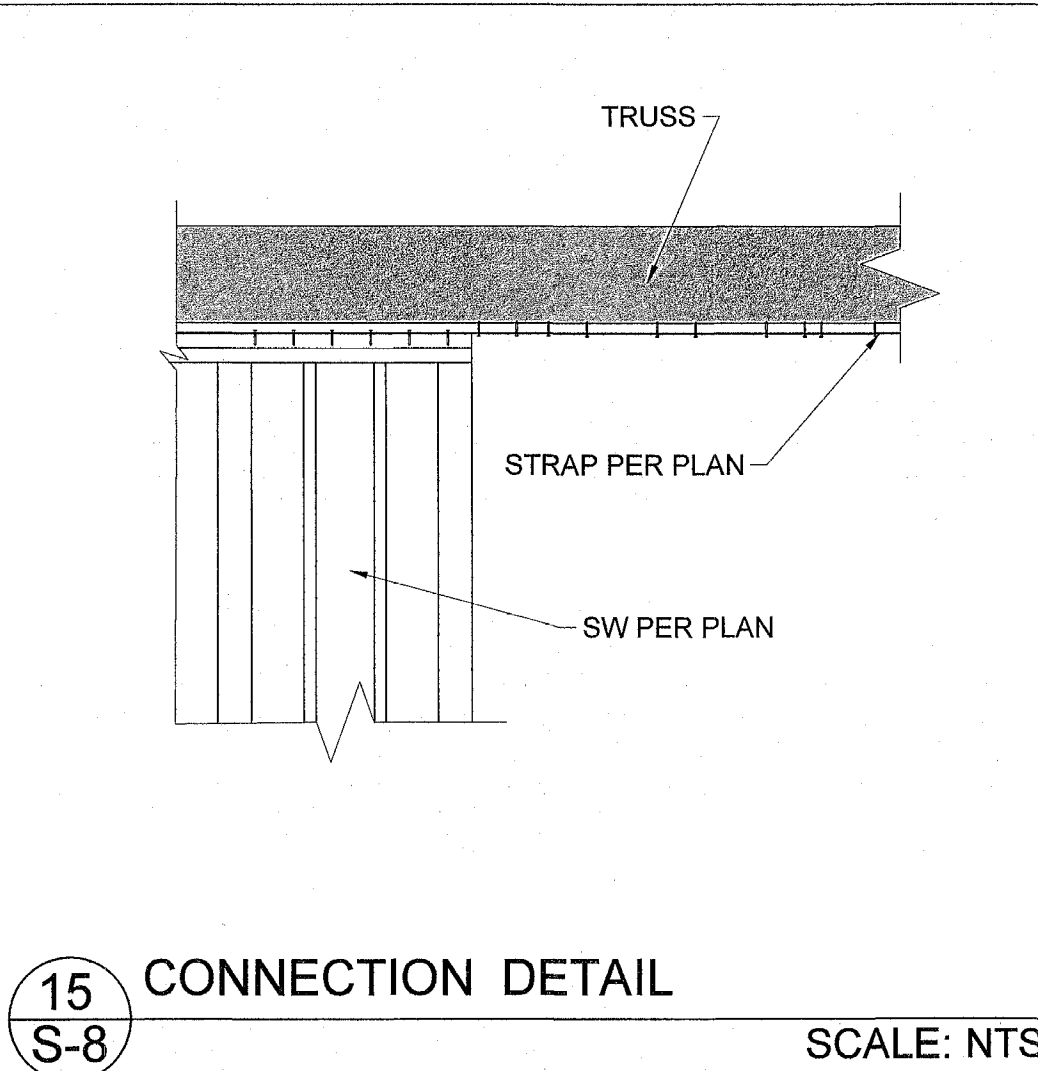
12 CONNECTION DETAIL
SCALE: NTS



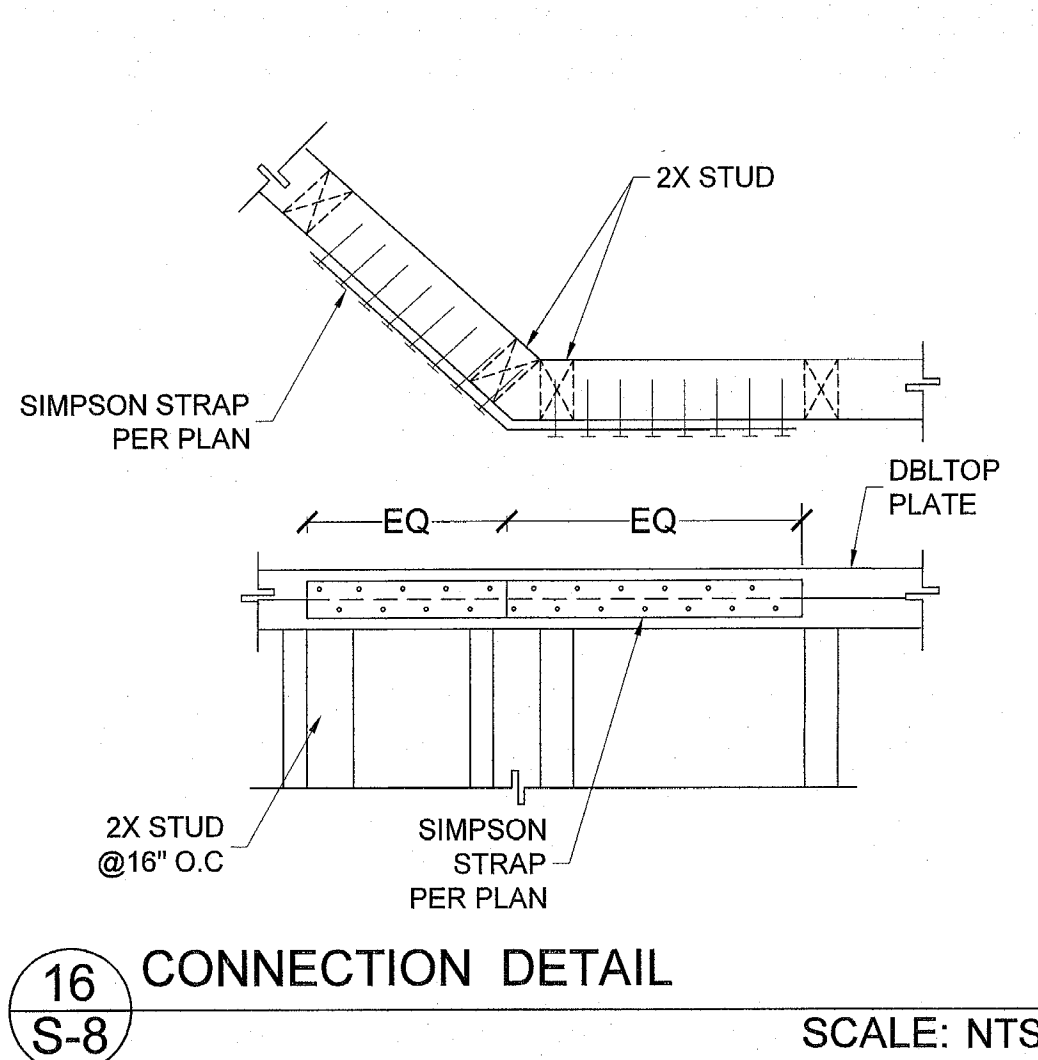
13 SHEARWALL TO TRUSS CONNEC
SCALE: NTS



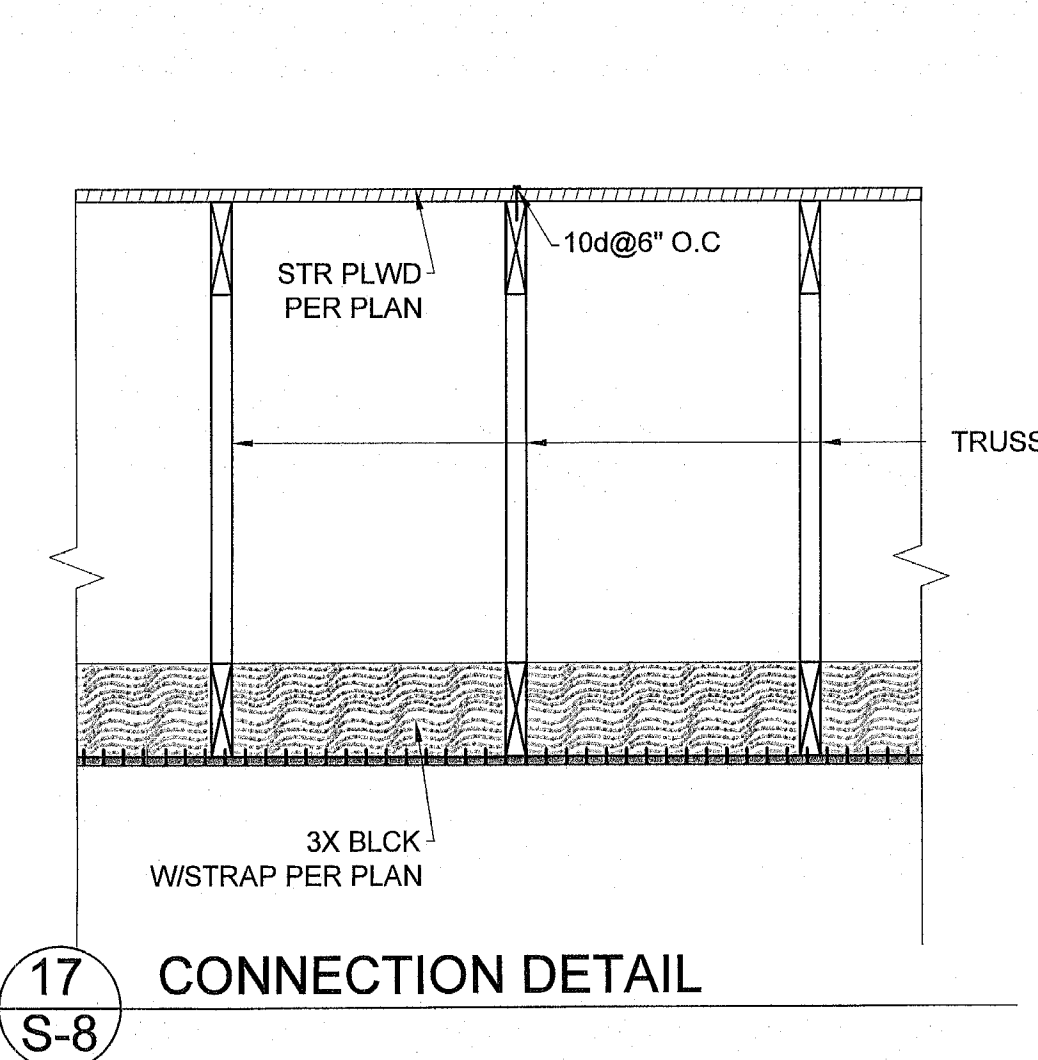
14 CONNECTION DETAIL
SCALE: NTS



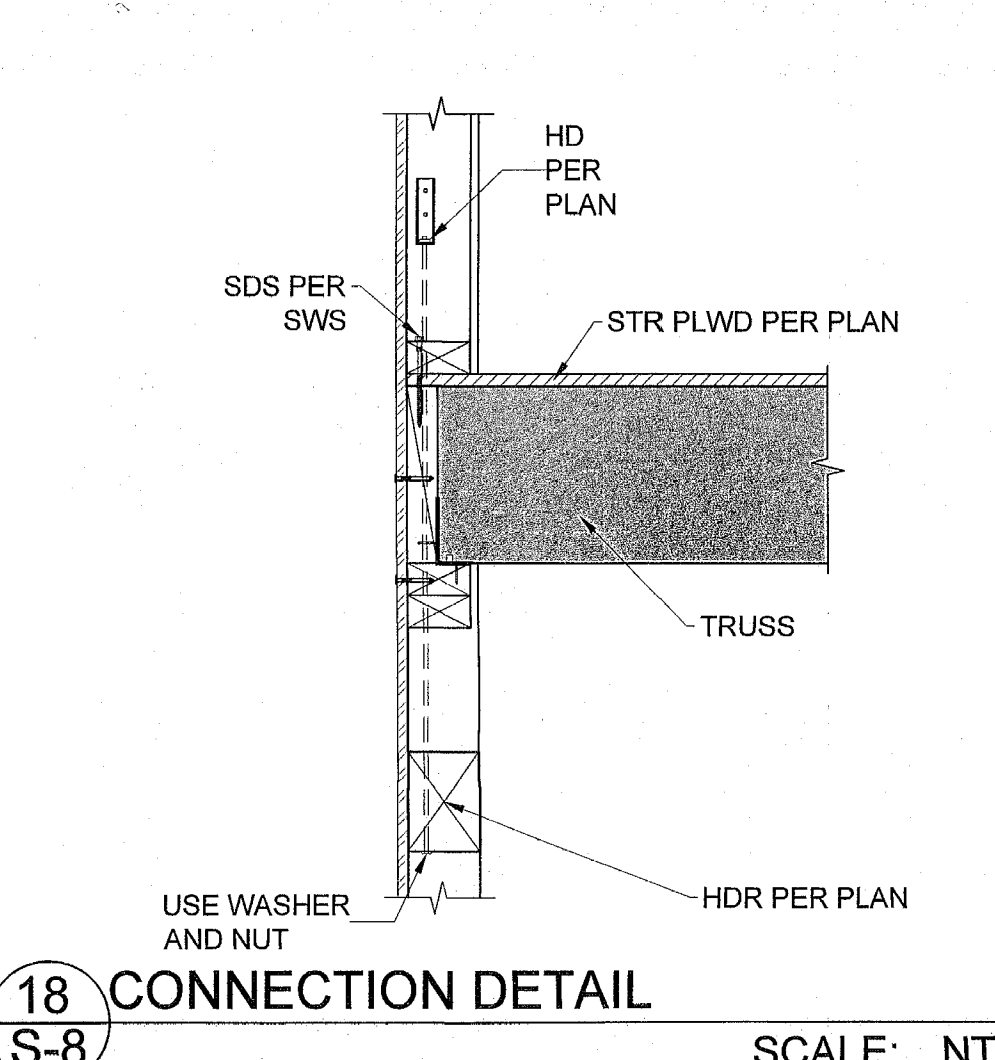
15 CONNECTION DETAIL
SCALE: NTS



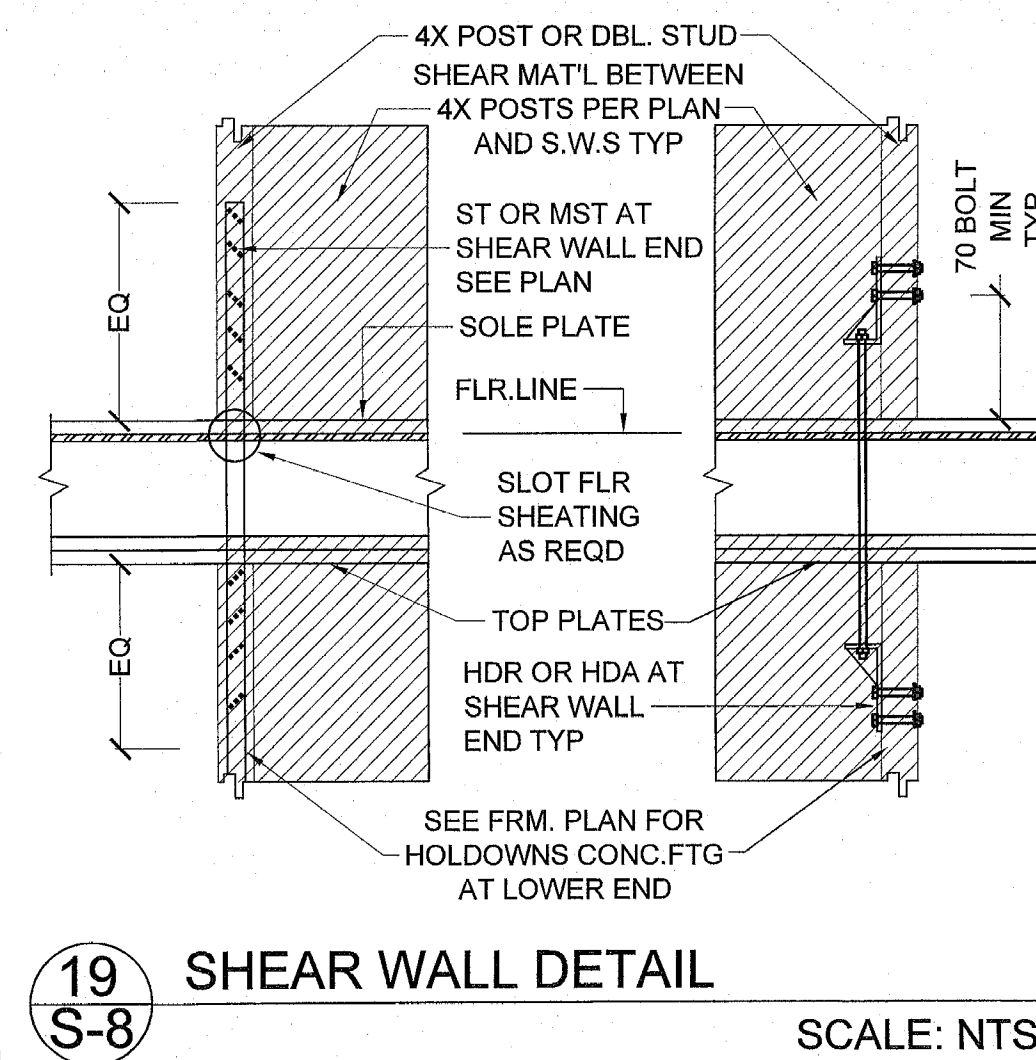
16 CONNECTION DETAIL
SCALE: NTS



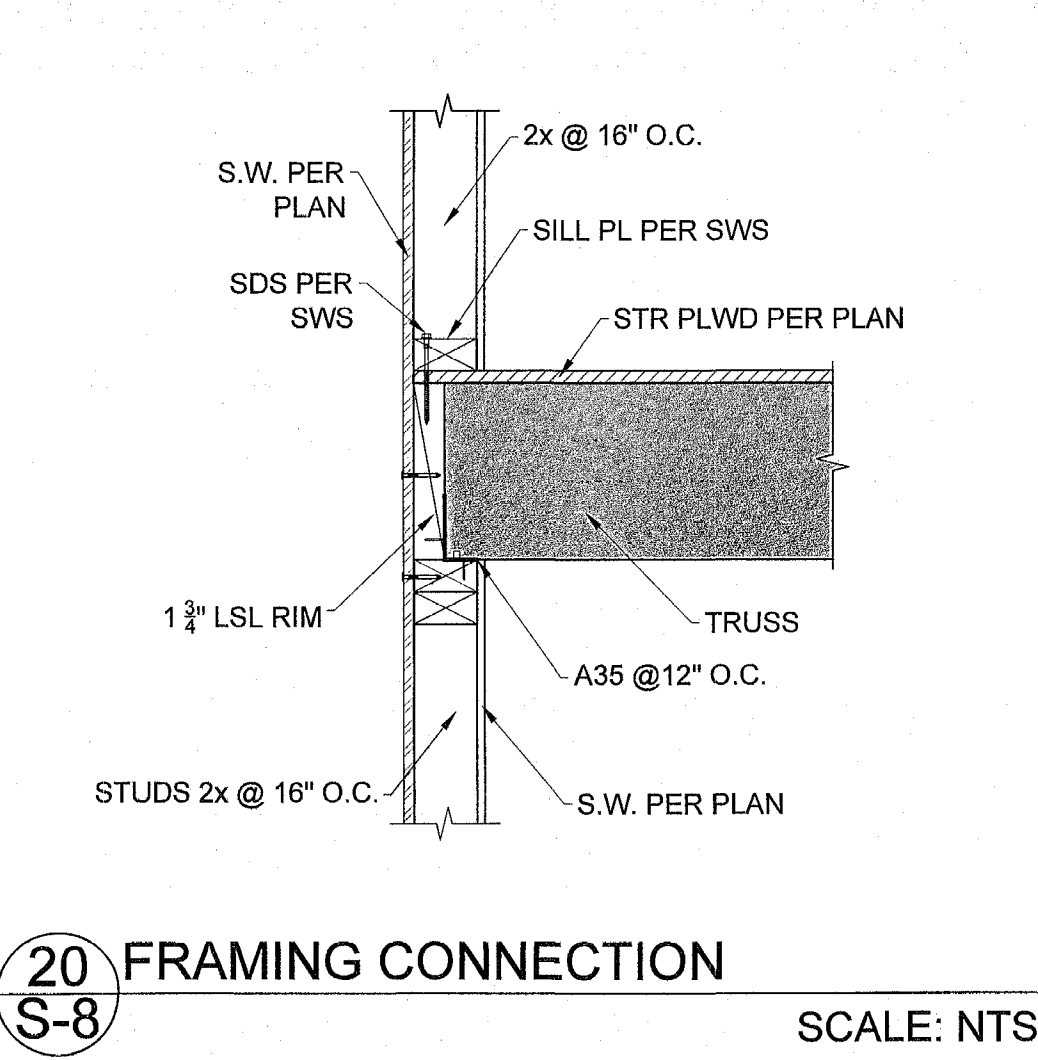
17 CONNECTION DETAIL
SCALE: NTS



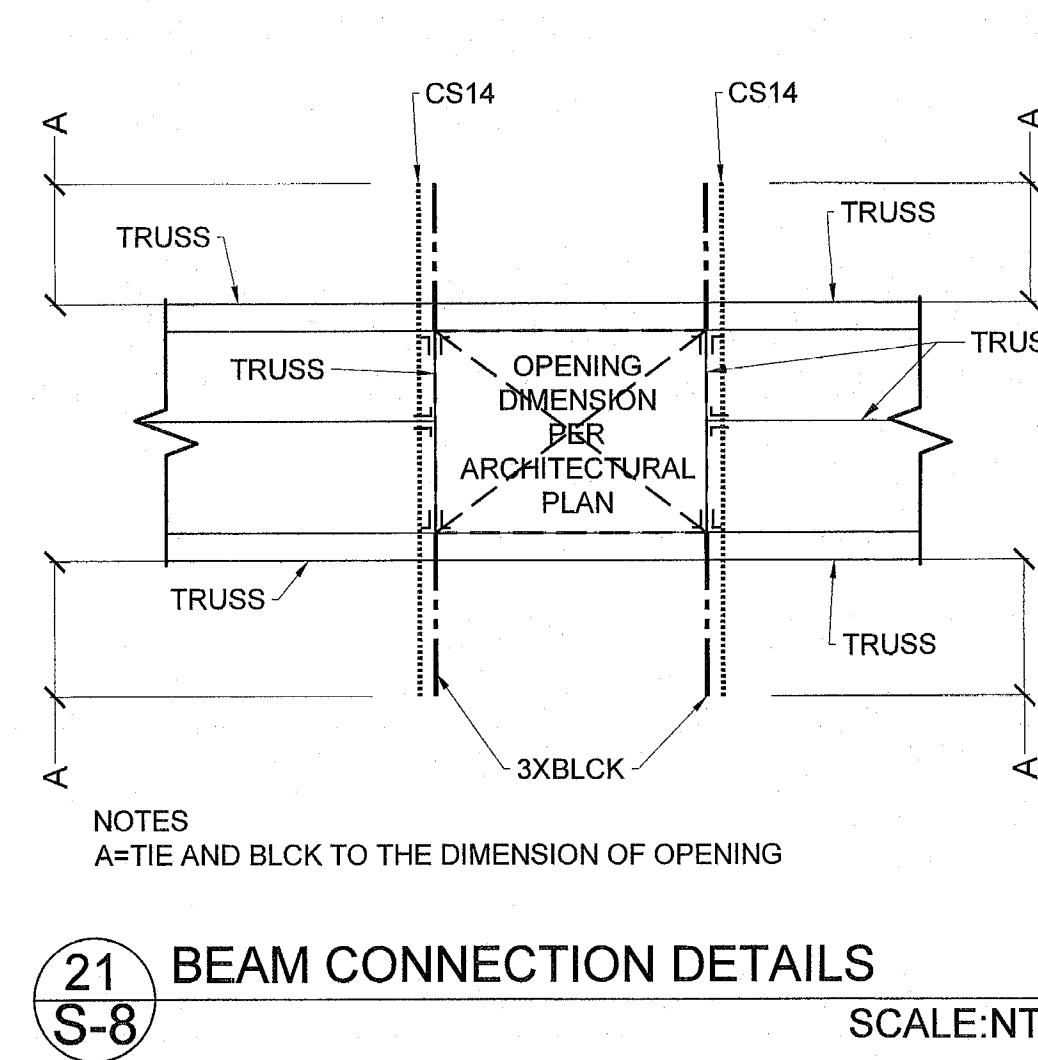
18 CONNECTION DETAIL
SCALE: NTS



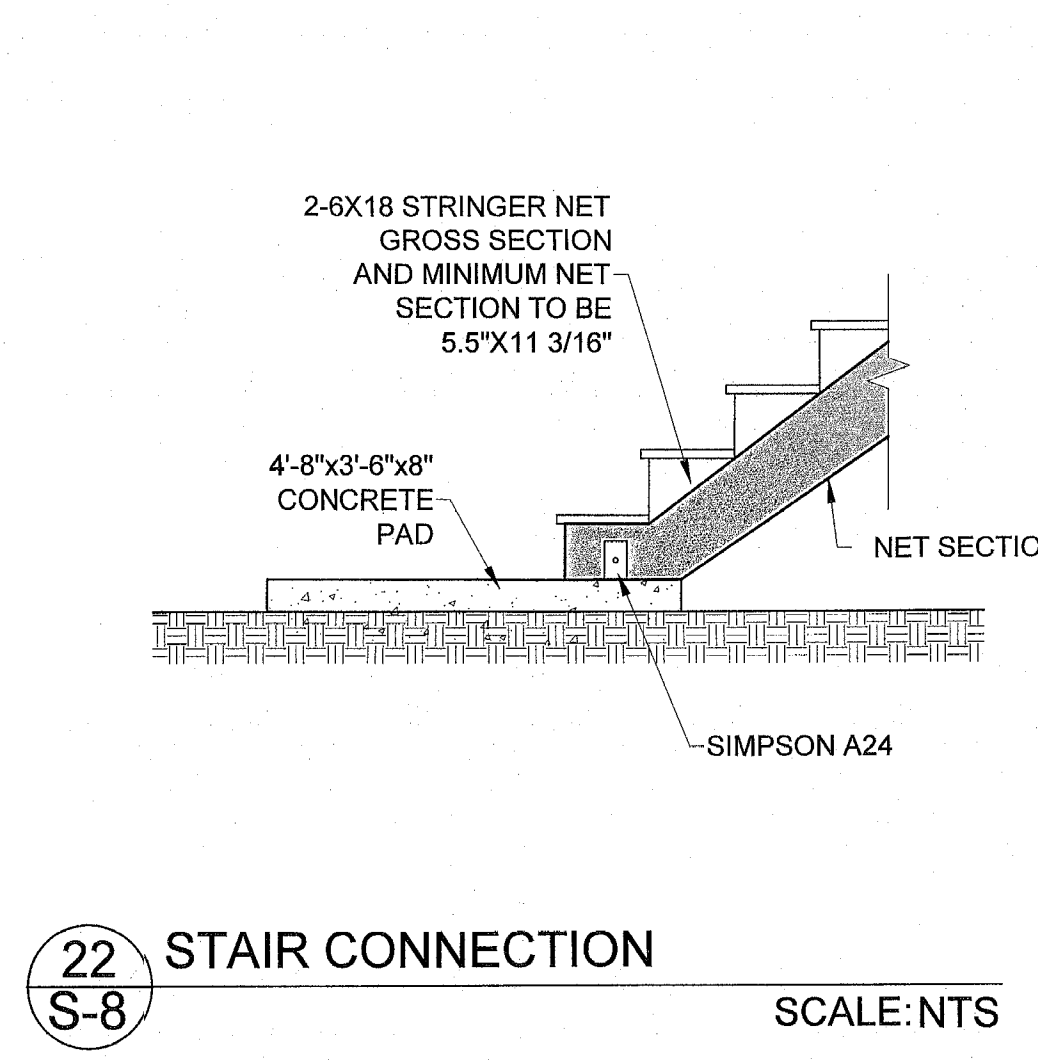
19 SHEAR WALL DETAIL
SCALE: NTS



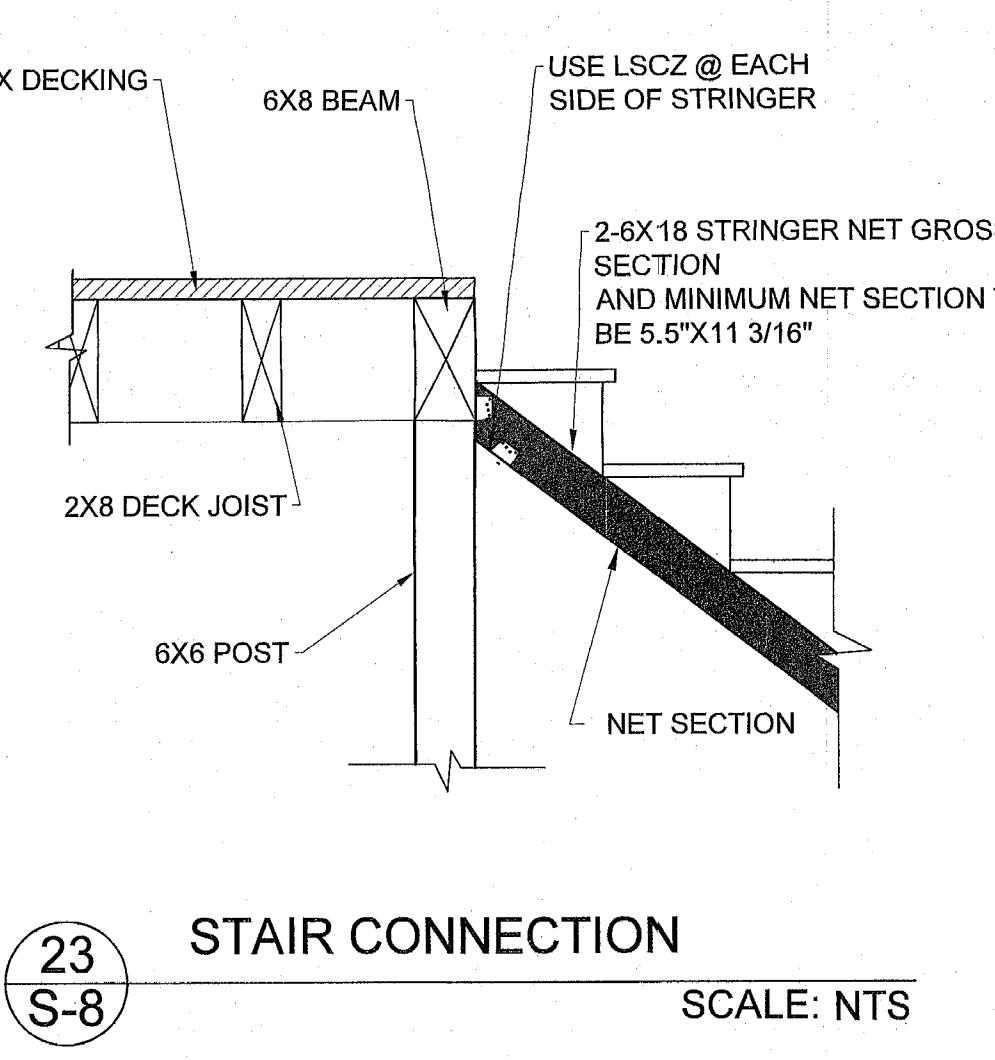
20 FRAMING CONNECTION
SCALE: NTS



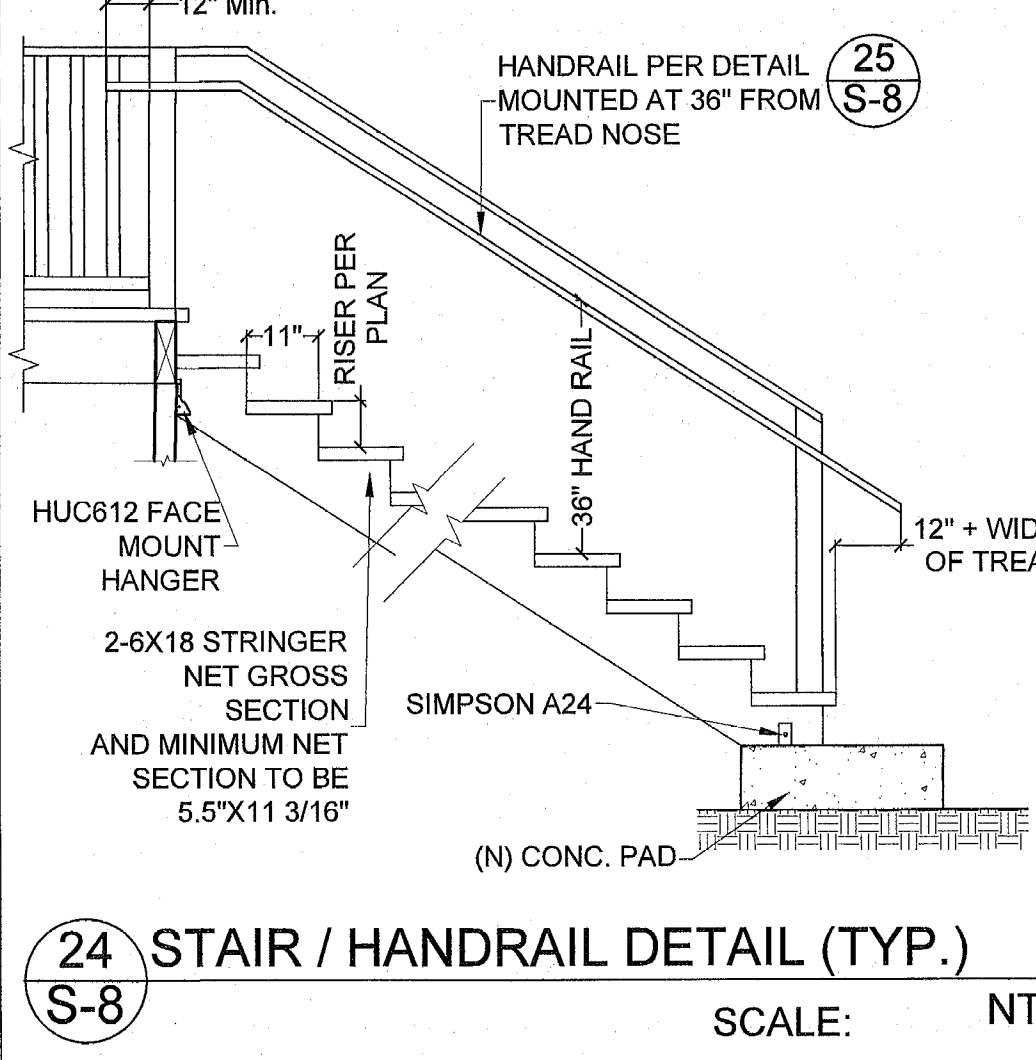
21 BEAM CONNECTION DETAILS
SCALE: NTS



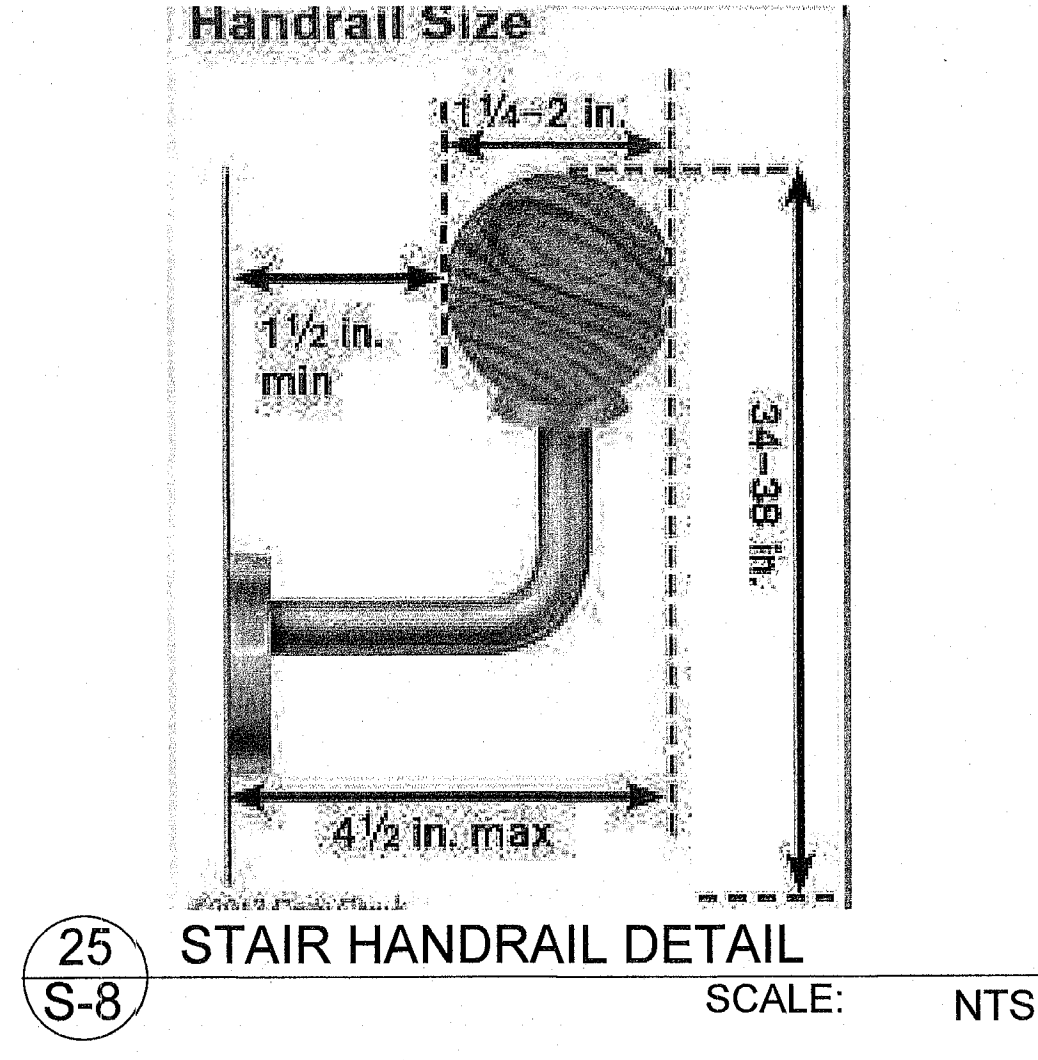
22 STAIR CONNECTION
SCALE: NTS



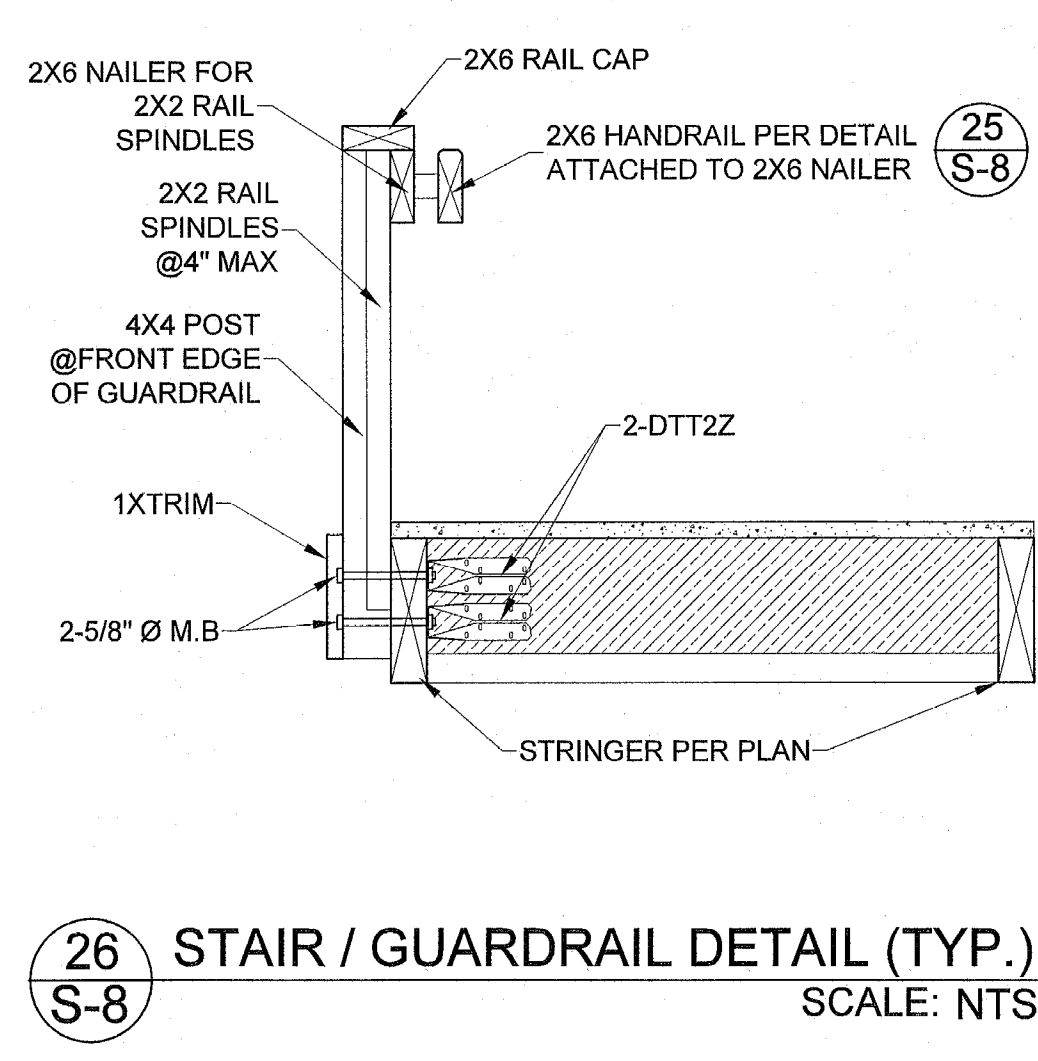
23 STAIR CONNECTION
SCALE: NTS



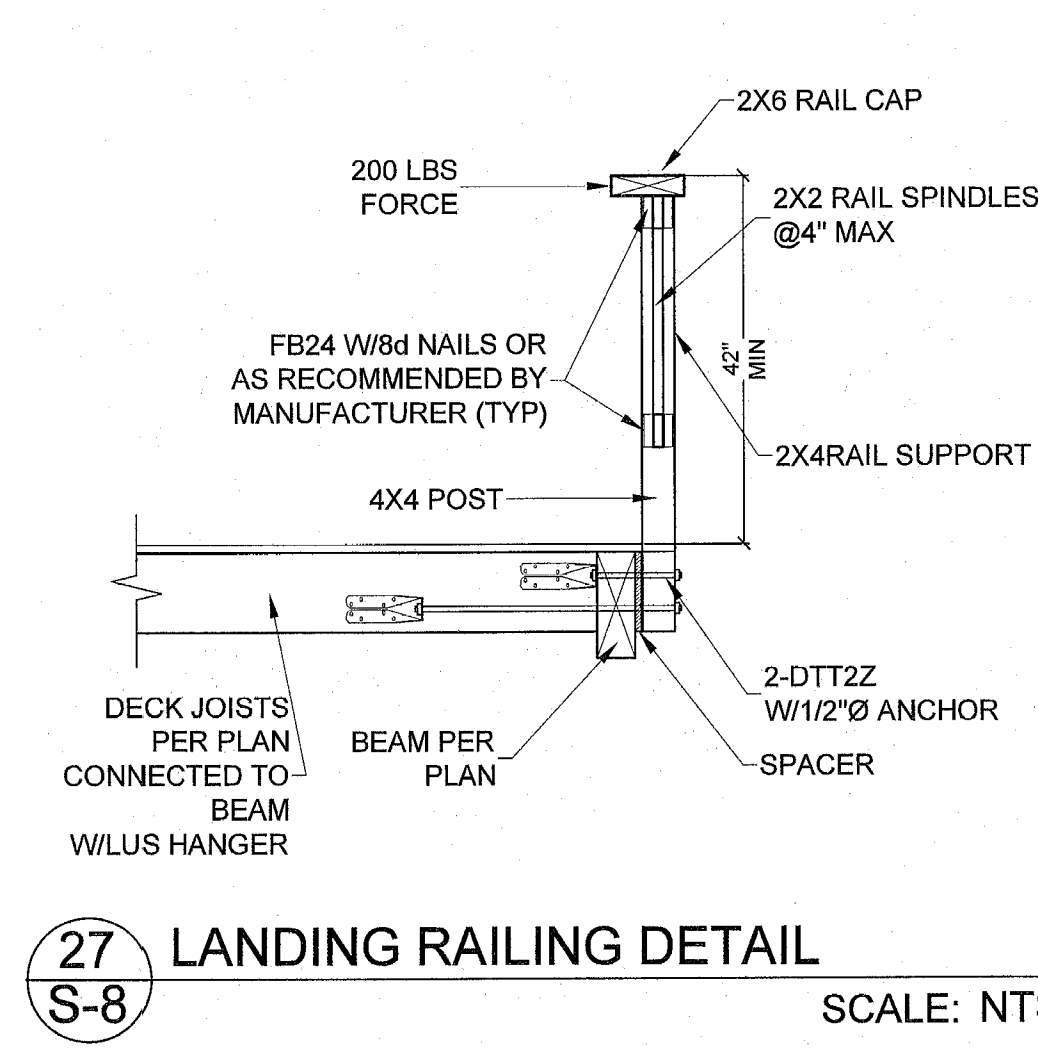
24 STAIR / HANDRAIL DETAIL (TYP.)
SCALE: NTS



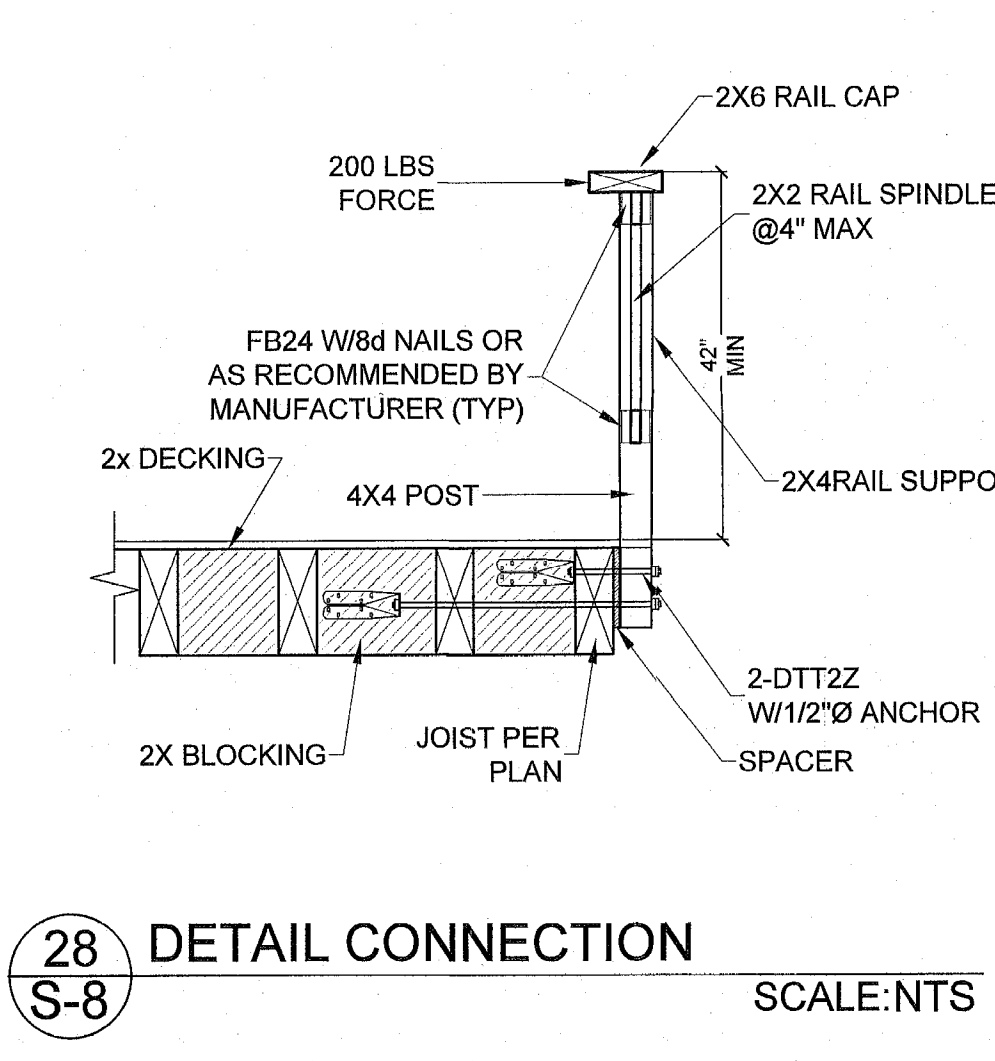
25 STAIR HANDRAIL DETAIL
SCALE: NTS



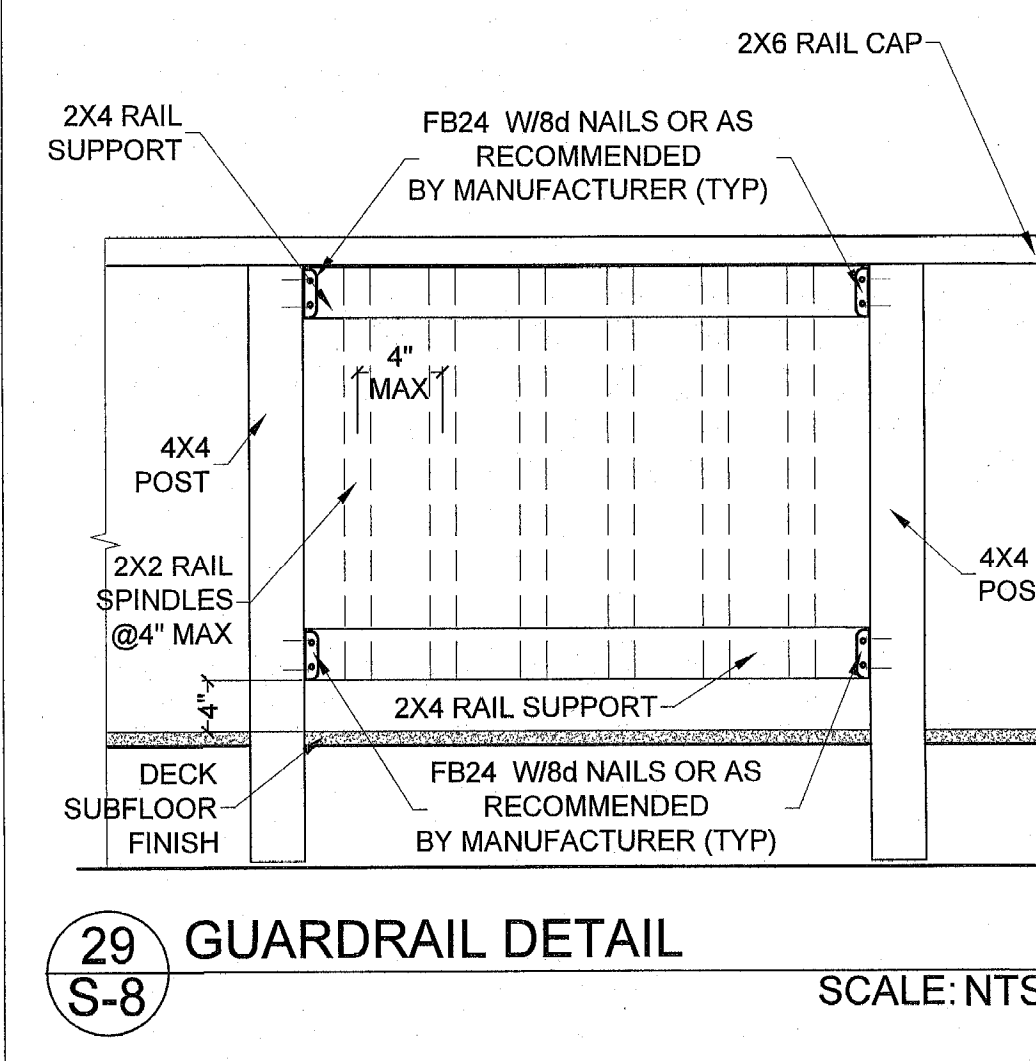
26 STAIR / GUARDRAIL DETAIL (TYP.)
SCALE: NTS



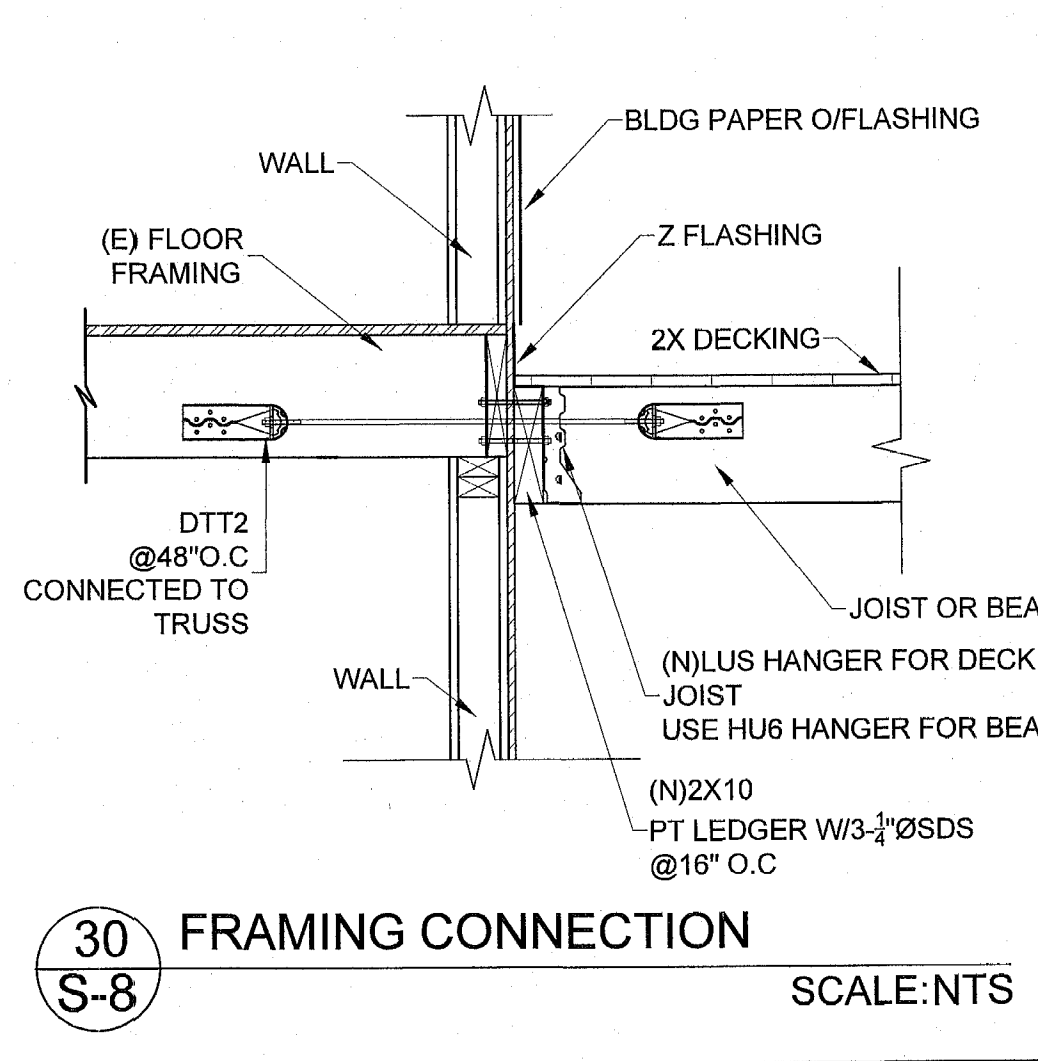
27 LANDING RAILING DETAIL
SCALE: NTS



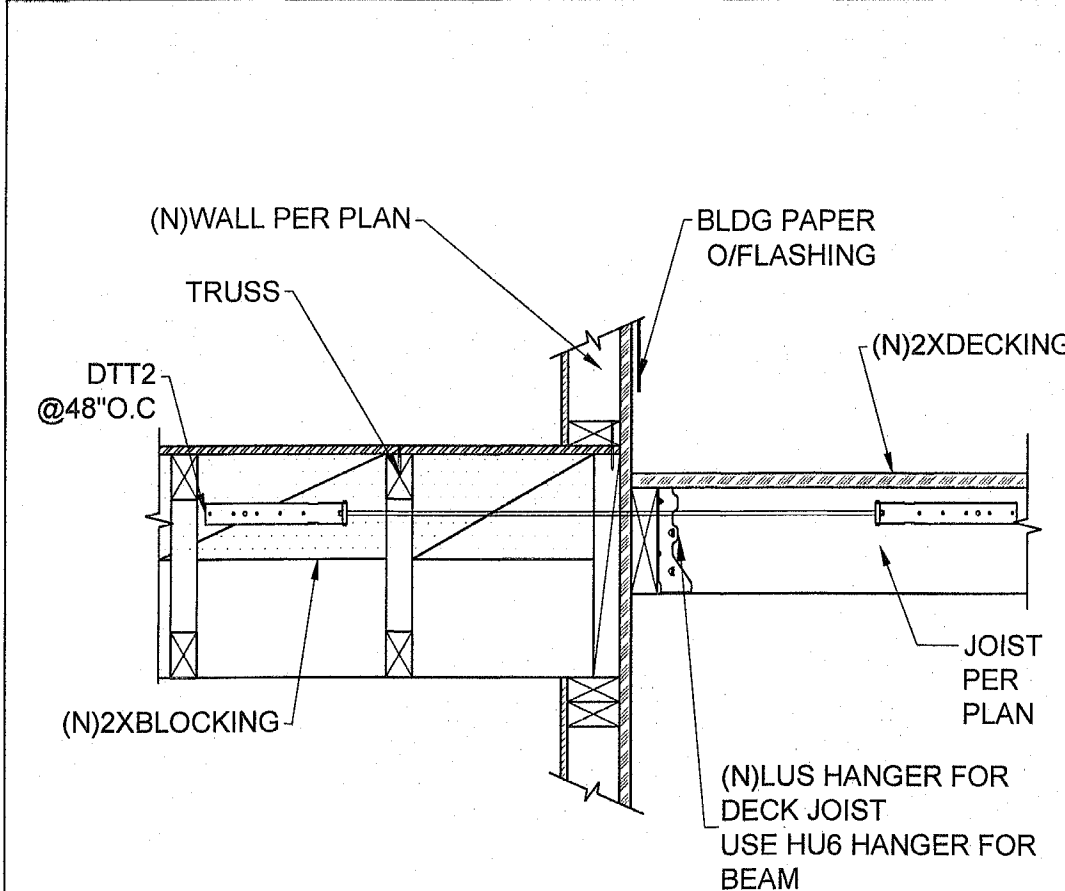
28 DETAIL CONNECTION
SCALE: NTS



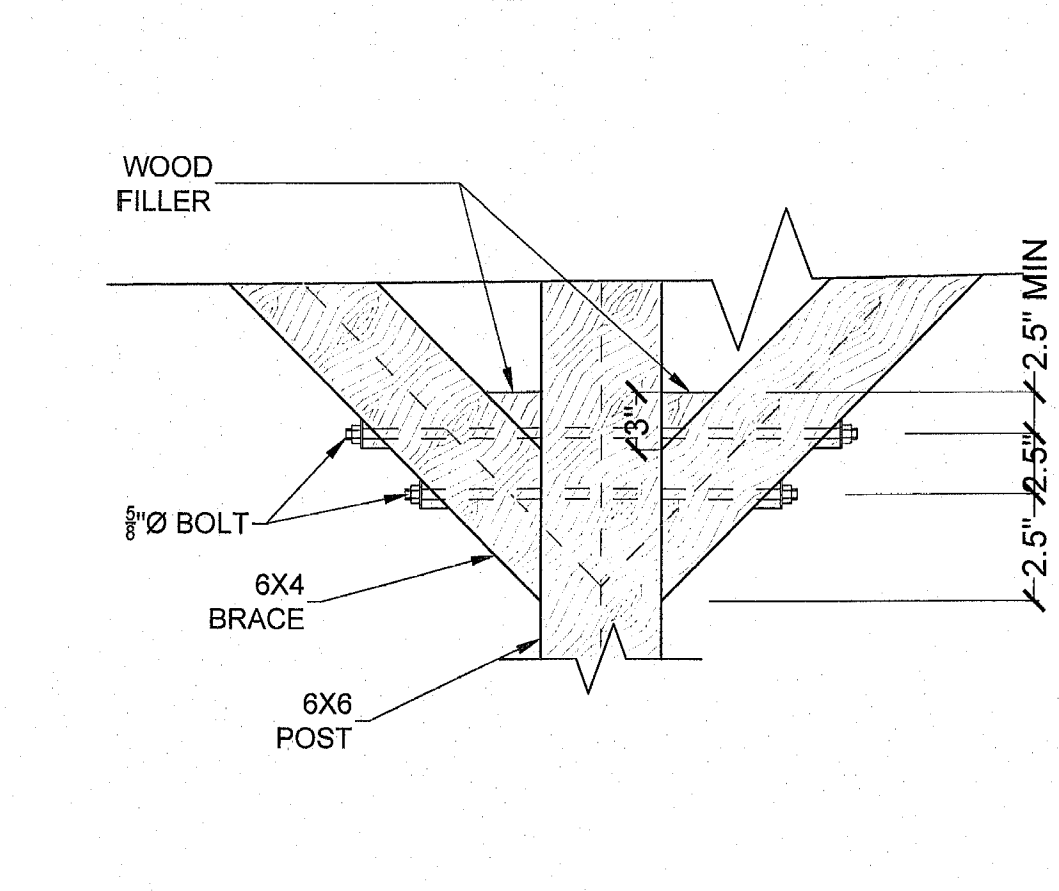
29 GUARDRAIL DETAIL
SCALE: NTS



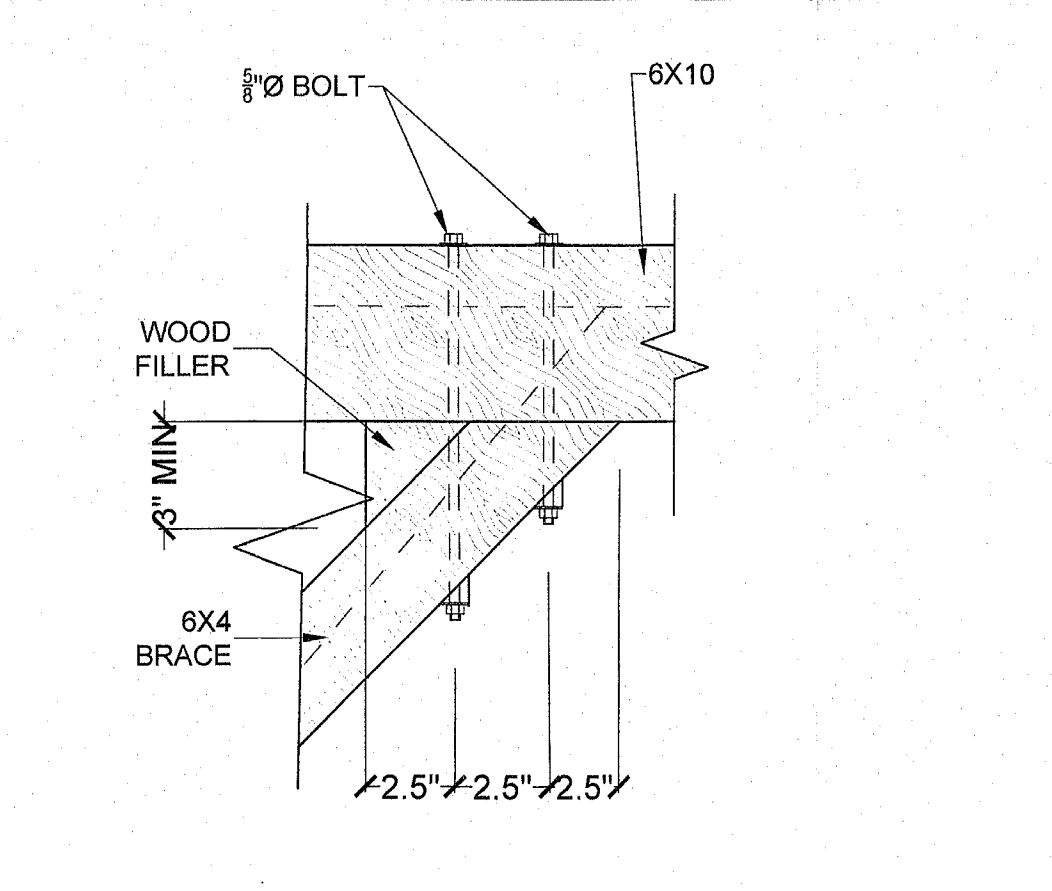
30 FRAMING CONNECTION
SCALE: NTS



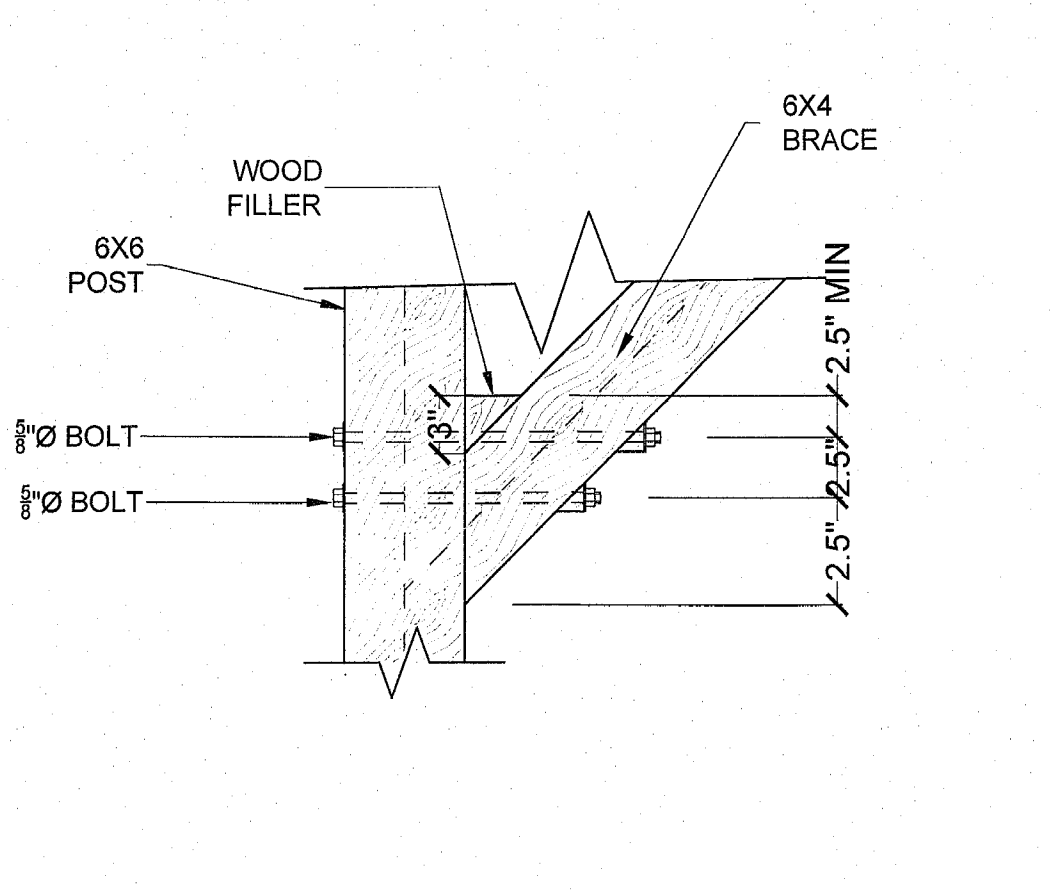
31 CONNECTION DETAIL
SCALE: NTS



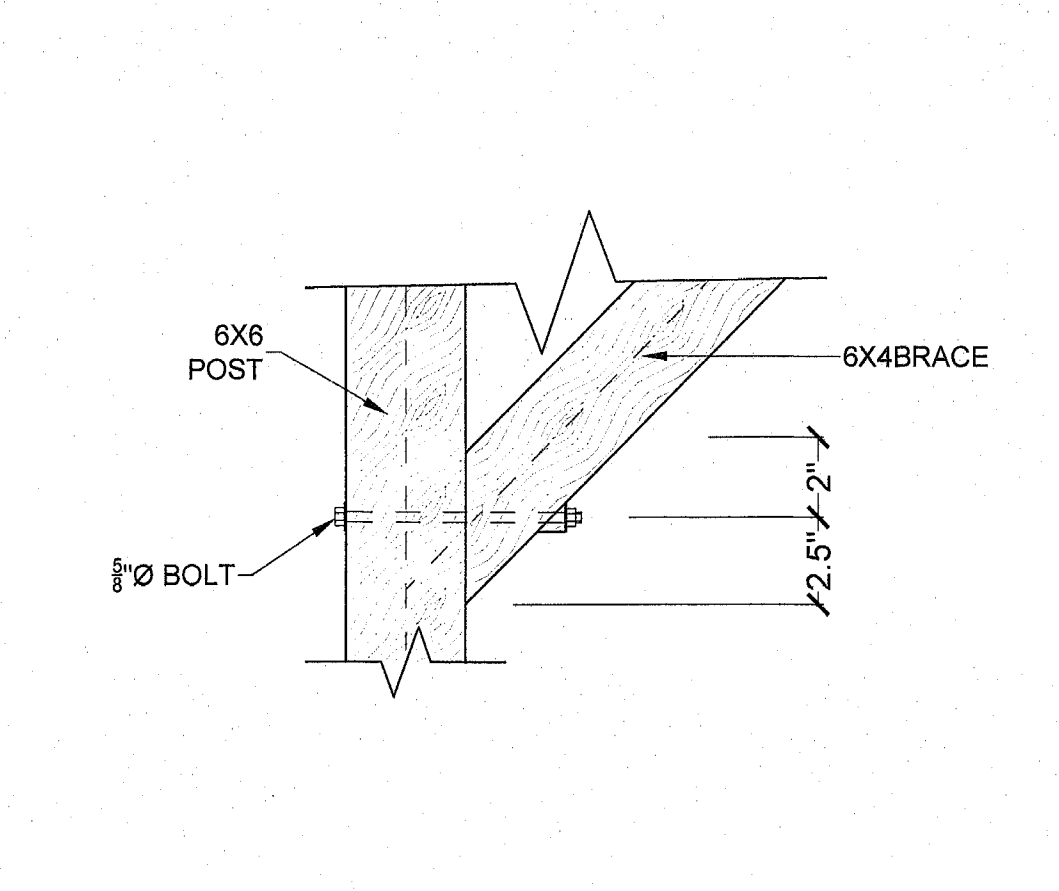
32 CONNECTION DETAIL
SCALE: NTS



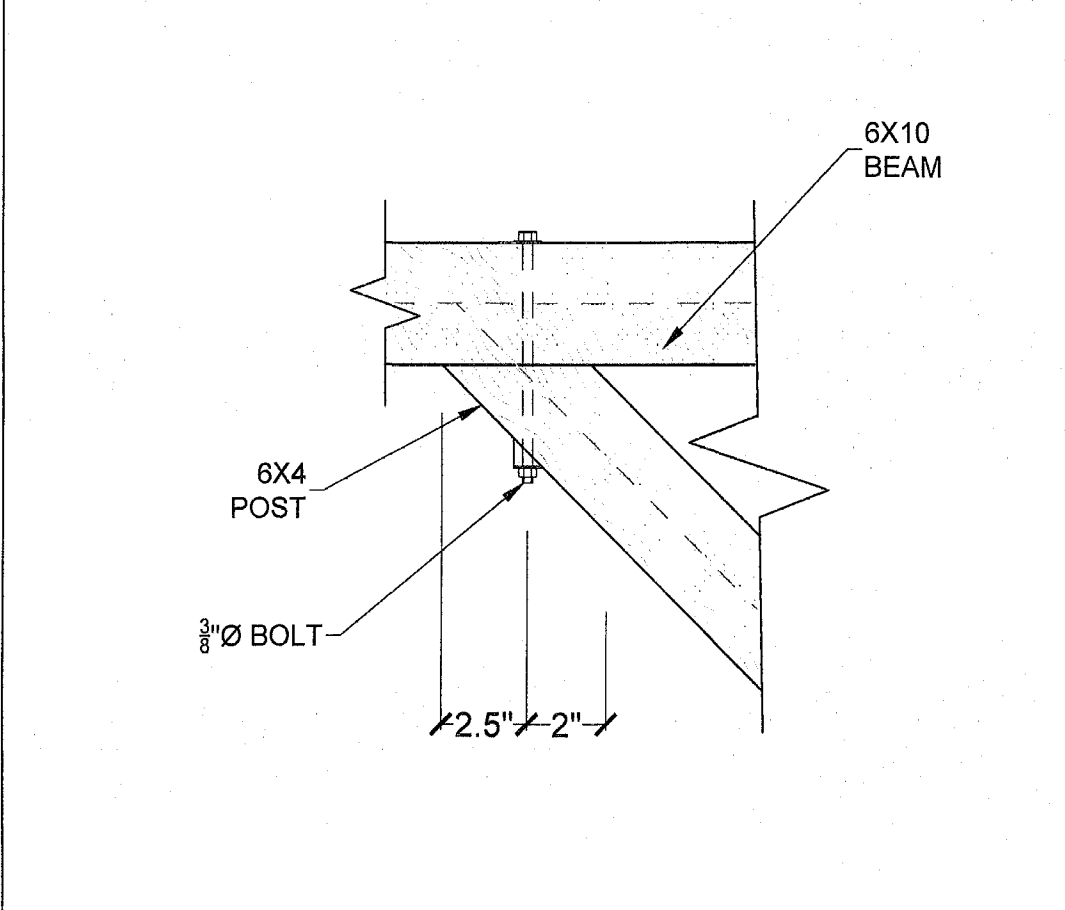
33 CONNECTION DETAIL
SCALE: NTS



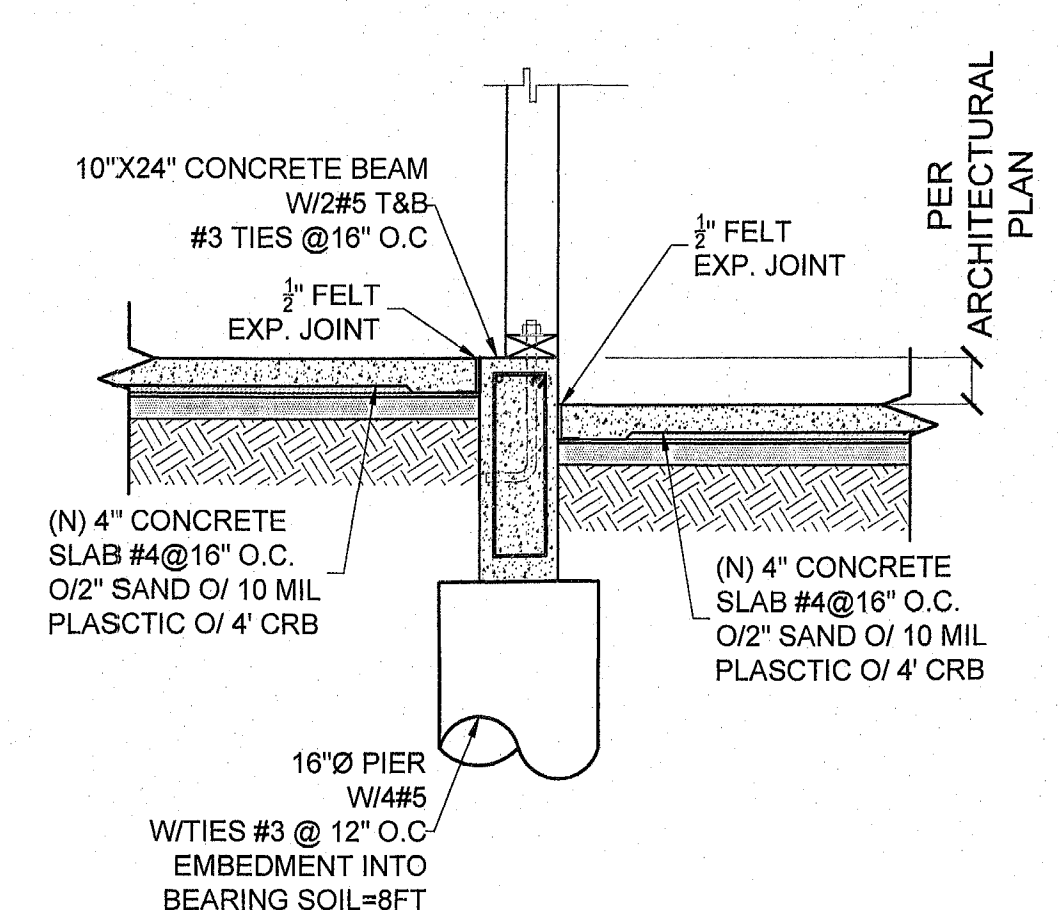
34 CONNECTION DETAIL
SCALE: NTS



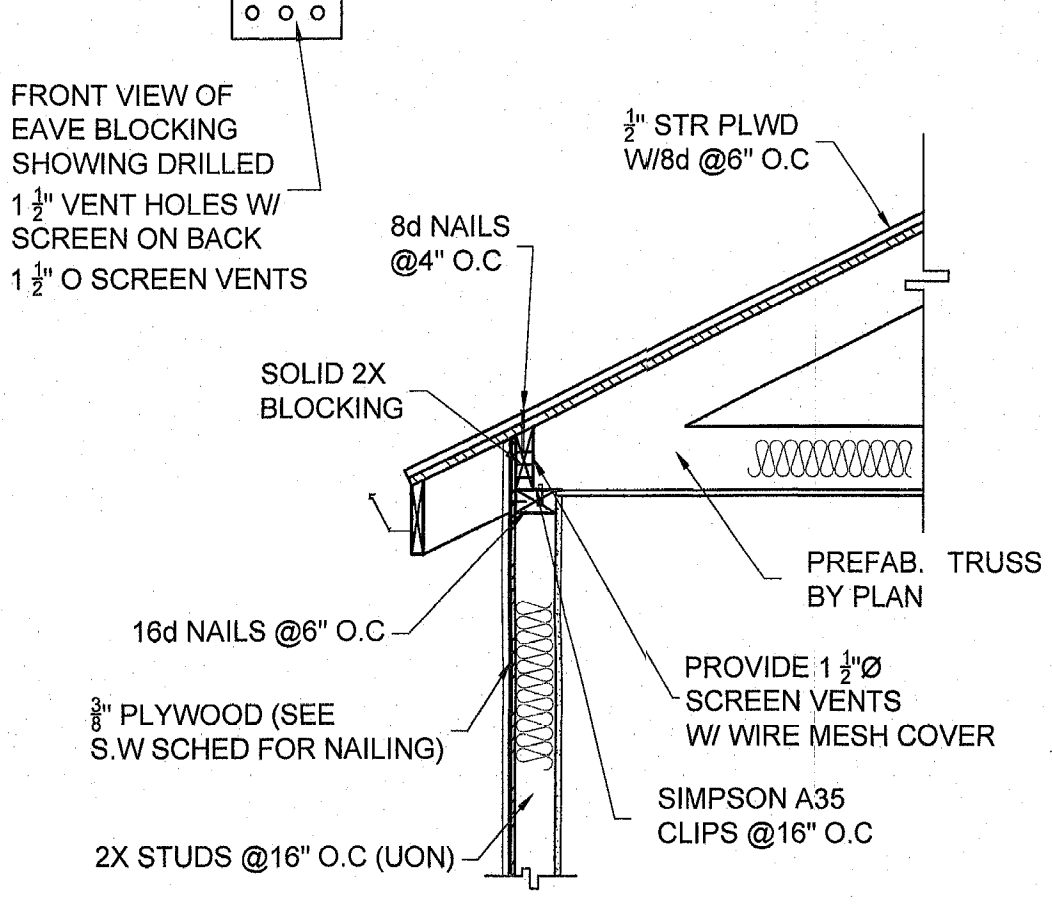
35 CONNECTION DETAIL
SCALE: NTS



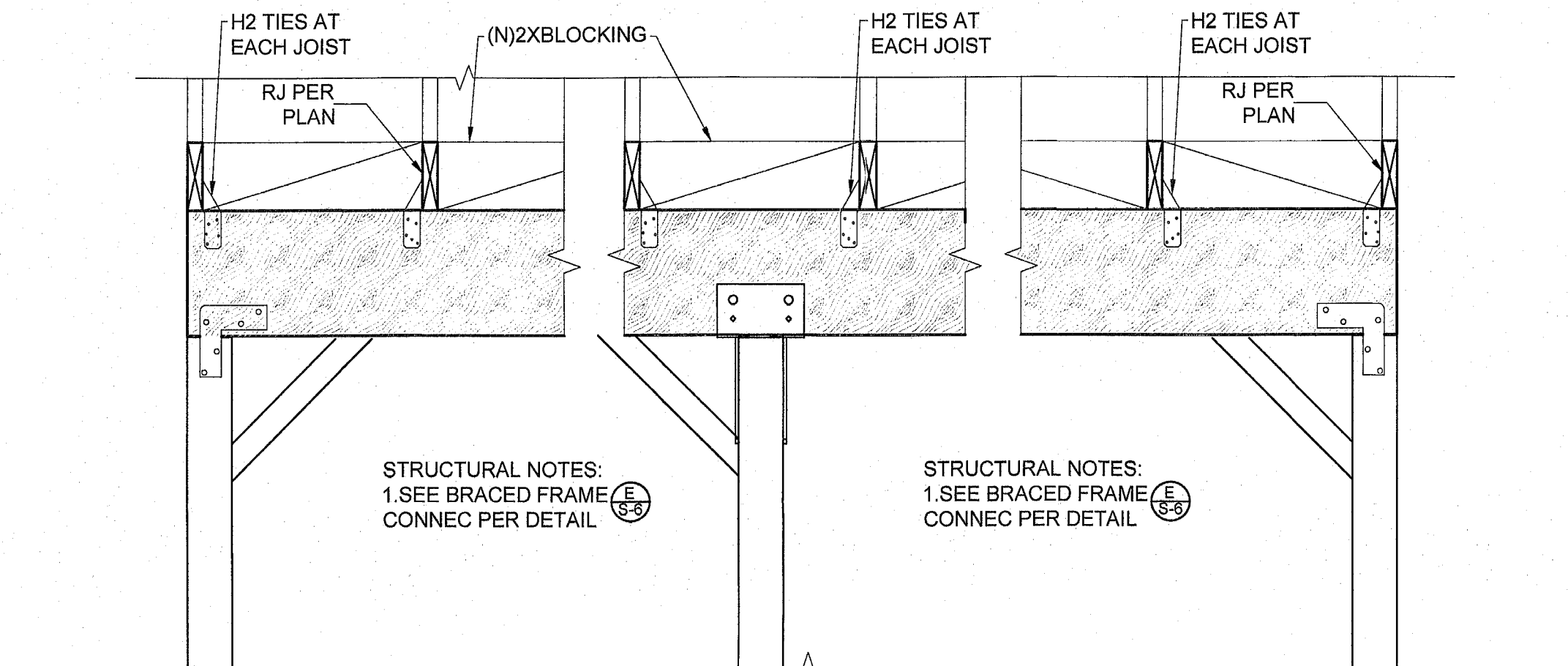
36 CONNECTION DETAIL
SCALE: NTS



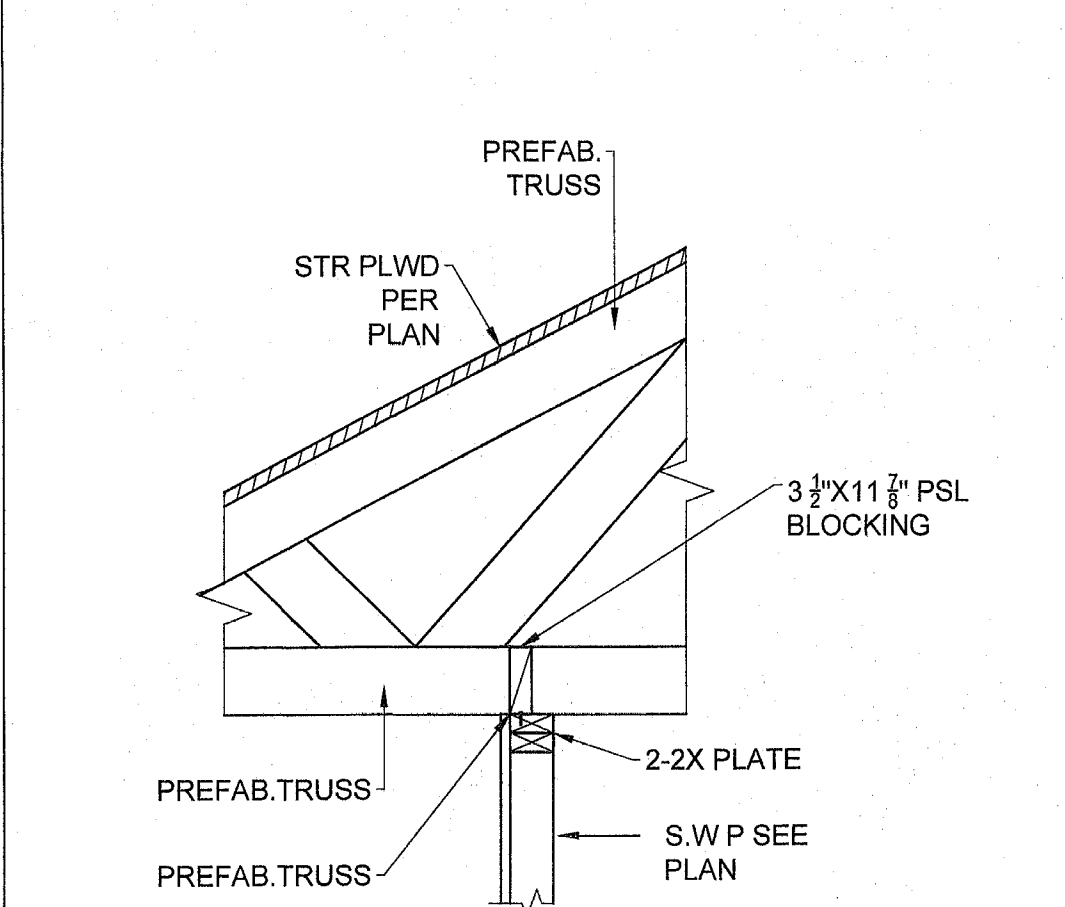
37 DROP AT SLAB
SCALE: NTS



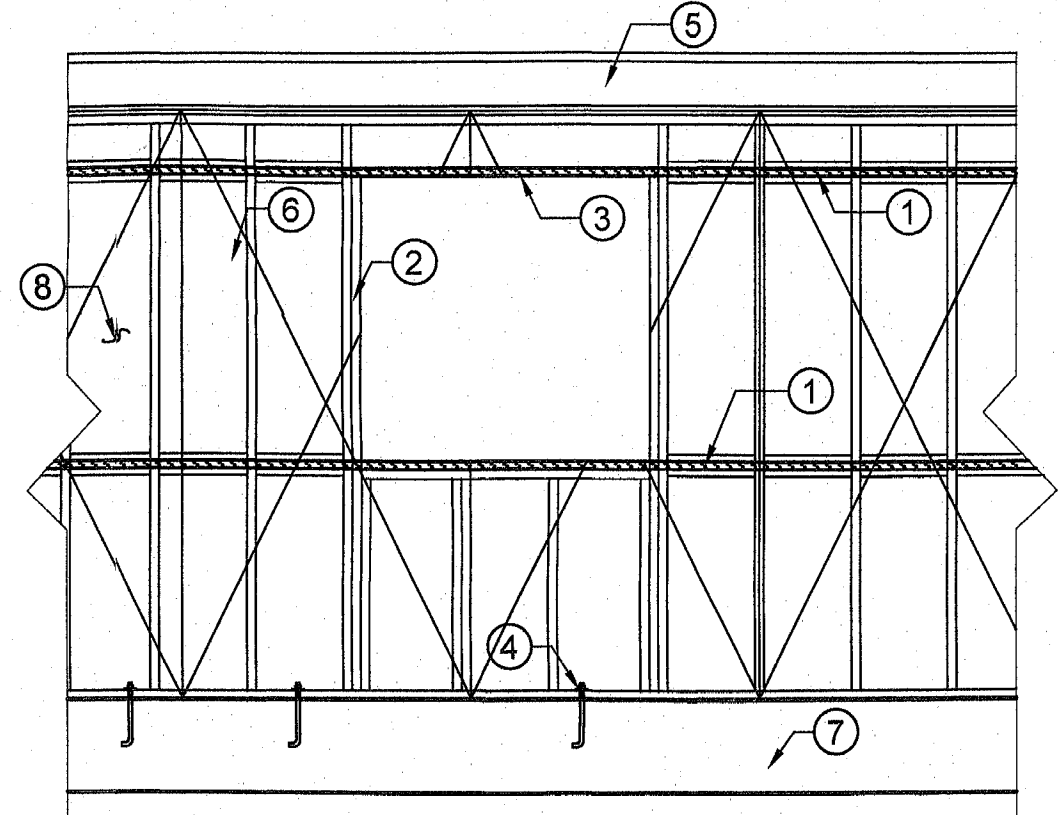
38 FRAMING CONNECTION



39 TRUSSES TO BRACED BEAM CONNEC
SCALE: NTS



40 CONNECTION DETAIL
SCALE: NTS



Straps Note 1			
ID	Model	Blocking	Allowable Tension
S2	CS14	2x	2,460lbs

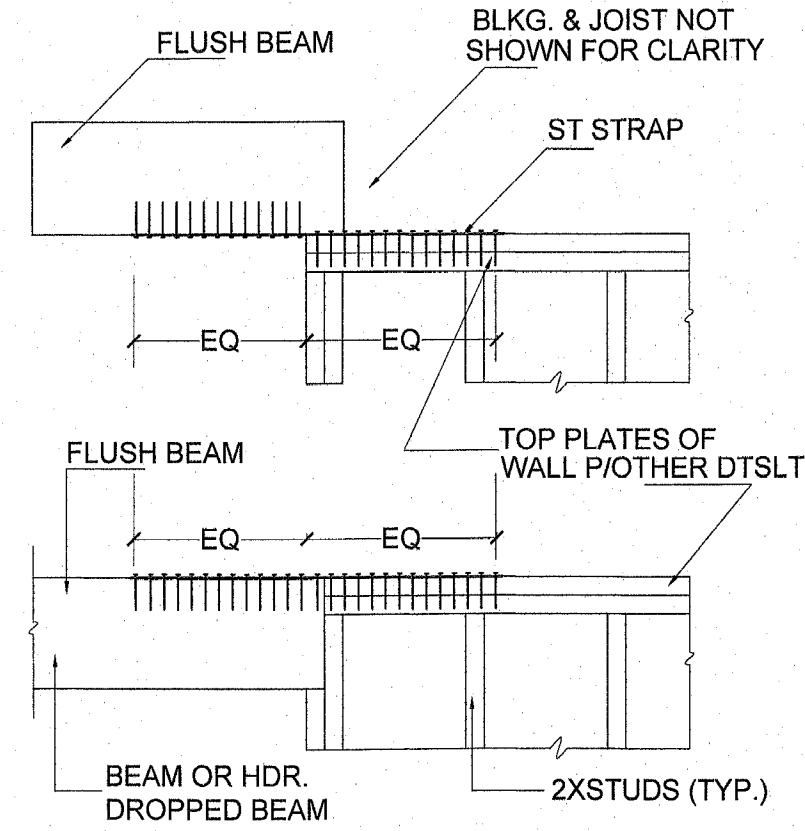
- FRAMING ELEVATION NOTES**
- STRAP (PER TABLE ABOVE) X LENGTH OF SHEAR WALL OVER SHEATHING WITH BLOCKING (PER TABLE ABOVE) AT LEVEL OF HEADER AND WINDOW SILL PLATE. NAIL STRAP AT NAIL SPACING REQUIRED FOR SHEAR WALL EDGE NAILING, SEE SHEAR WALL SCHEDULE.
 - KING STUD AND CRIPPLE STUD EITHER SIDE OF OPENING AS NECESSARY WITH SHEAR WALL EDGE NAILING ALONG THE ENTIRE LENGTH OF KING STUDS.
 - 4X HEADER AT TOP OF OPENING, SEE PLAN
 - SILL PLATE AND ANCHOR BOLTS, SEE SHEAR WALL SCHEDULE
 - UPPER FLOOR FRAMING OR ROOF FRAMING
 - 2X STUDS
 - FOUNDATION, SEE PLAN
 - SHEAR WALL SHEATHING, SEE SHEAR WALL SCHEDULE

41 SHEAR WALL
Perforated Shear wall details SCALE: NTS

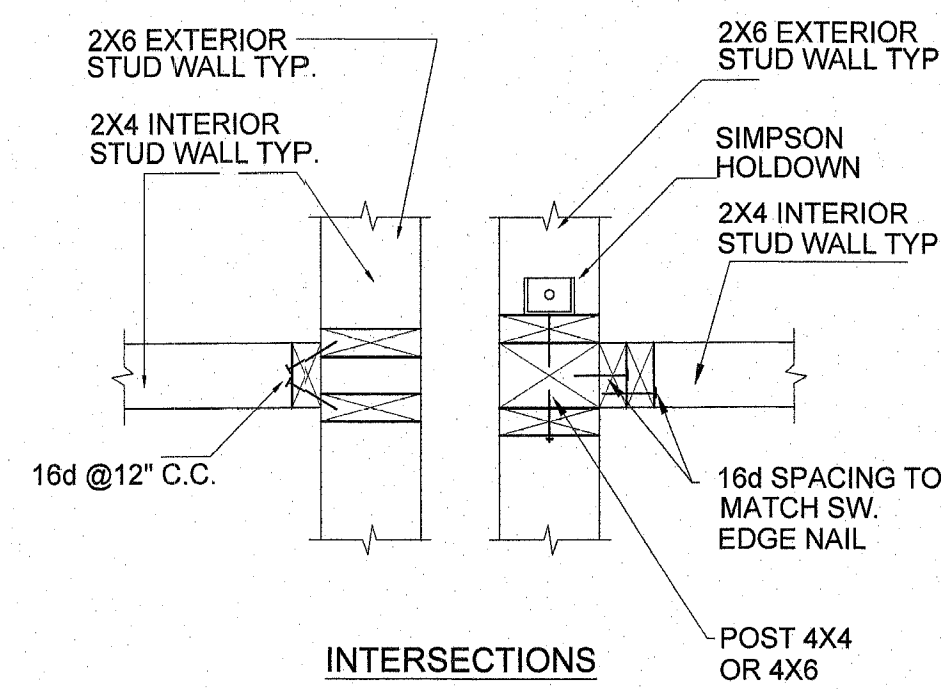
NOT USED

NOT USED

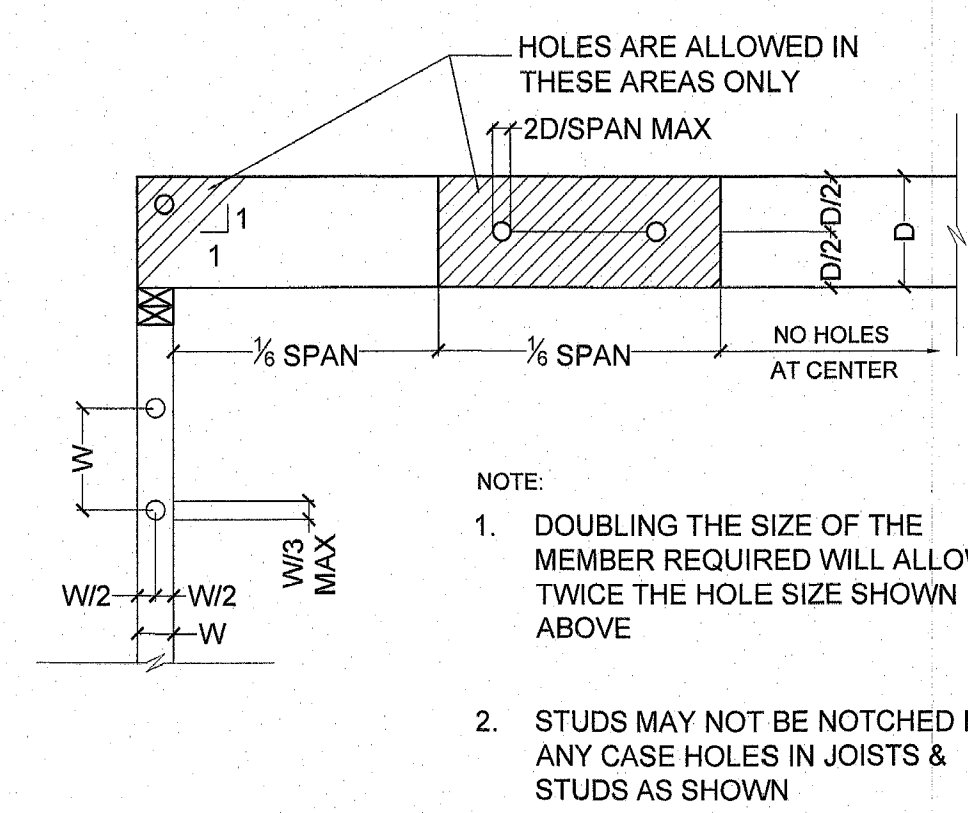
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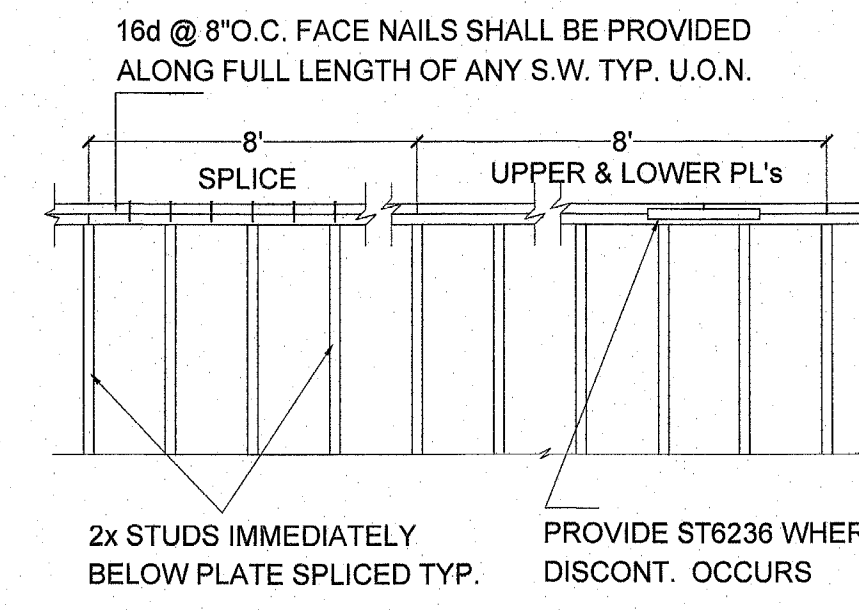
G1 BEAM /HEADER DETAIL



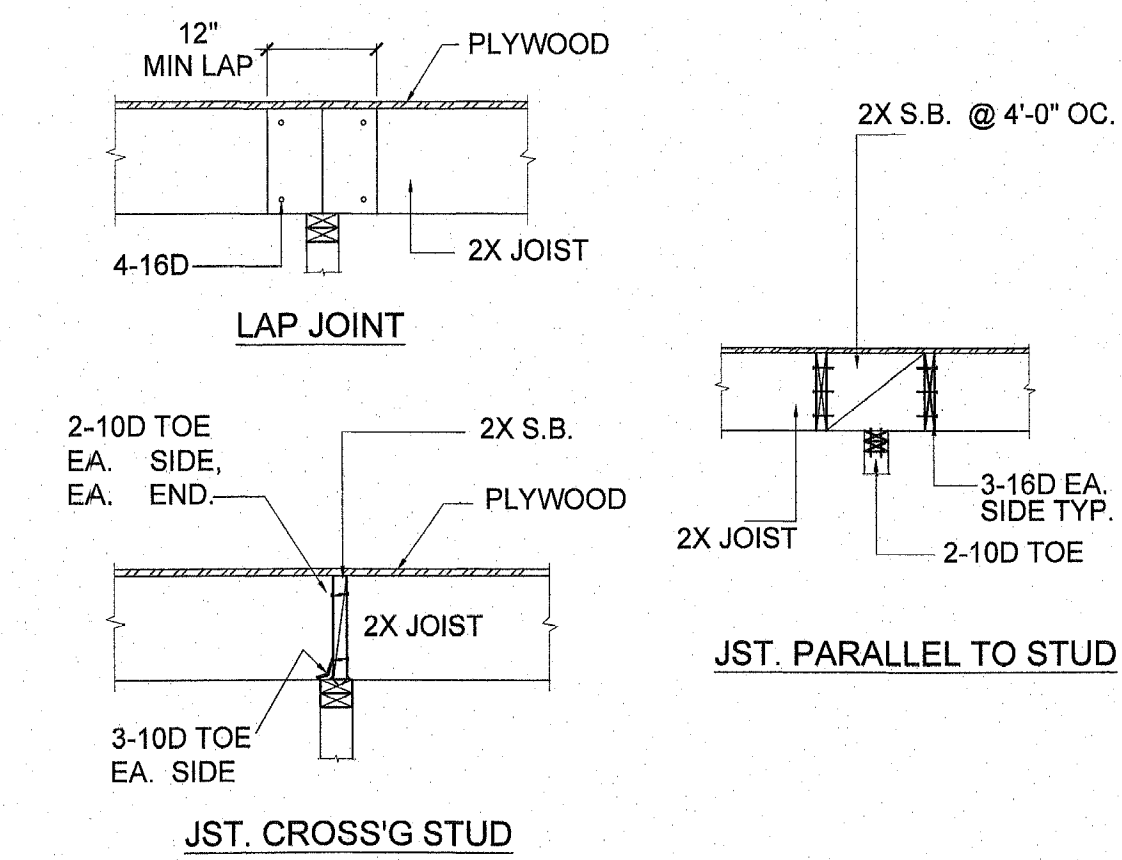
G2 WALL-FRAMING DETAIL



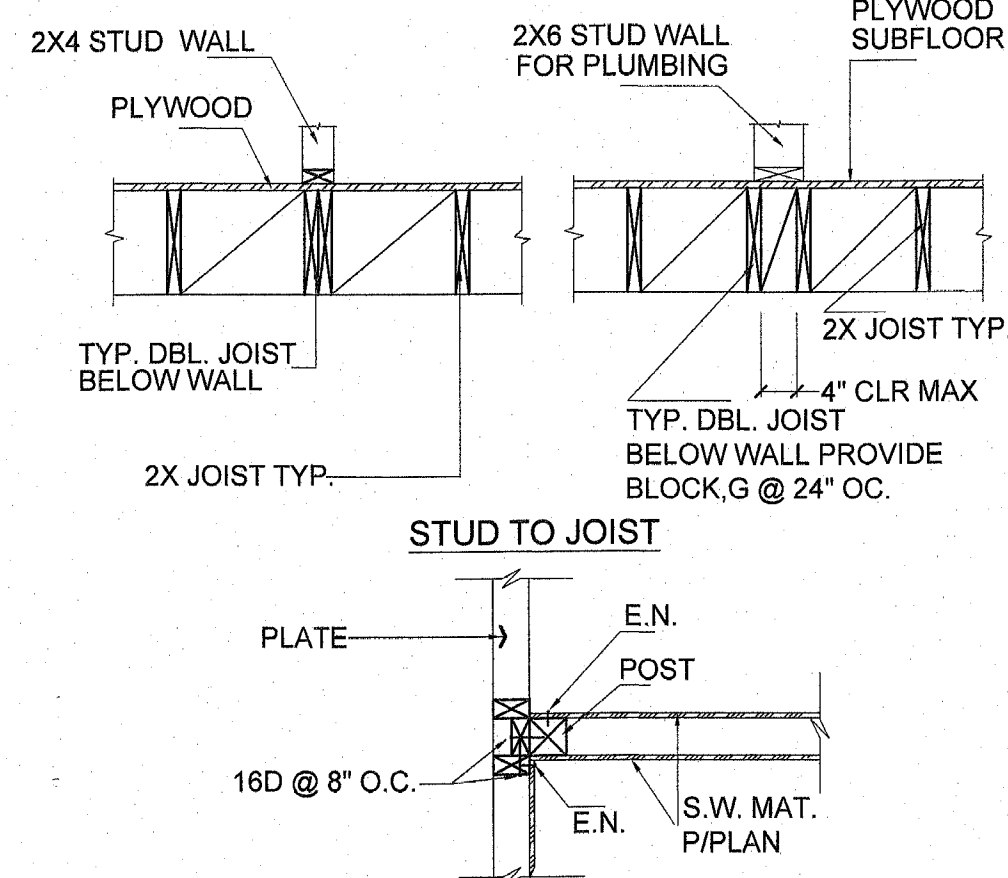
G3 HOLES IN JOISTS & STUDS



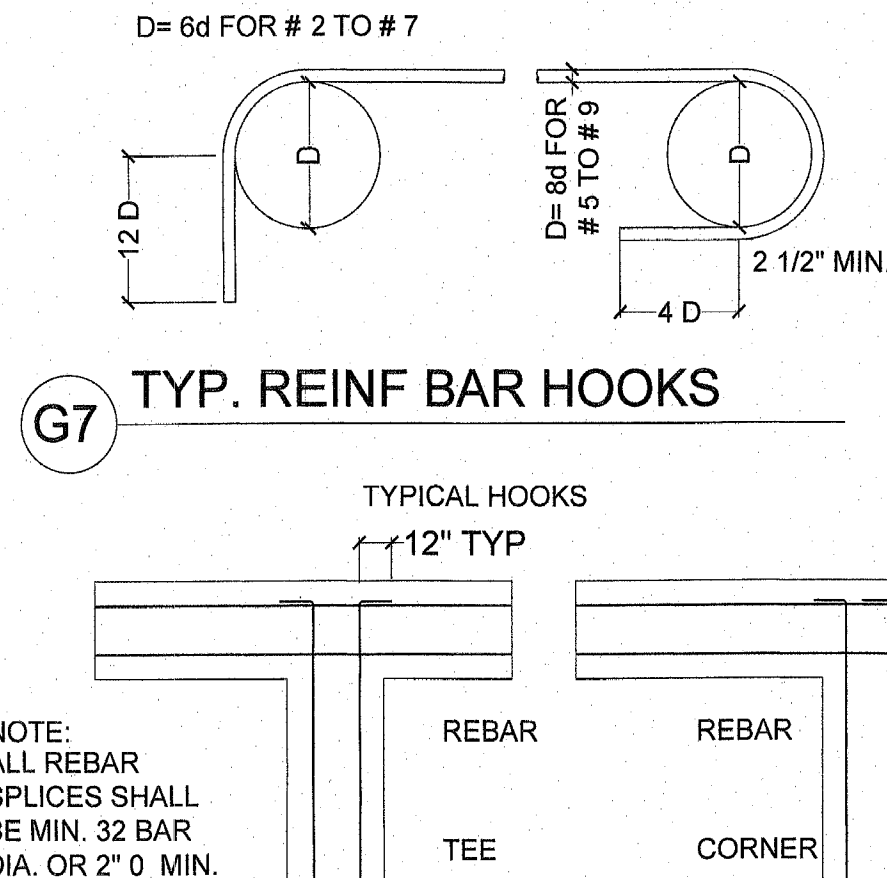
G4 SPLICE DETAIL



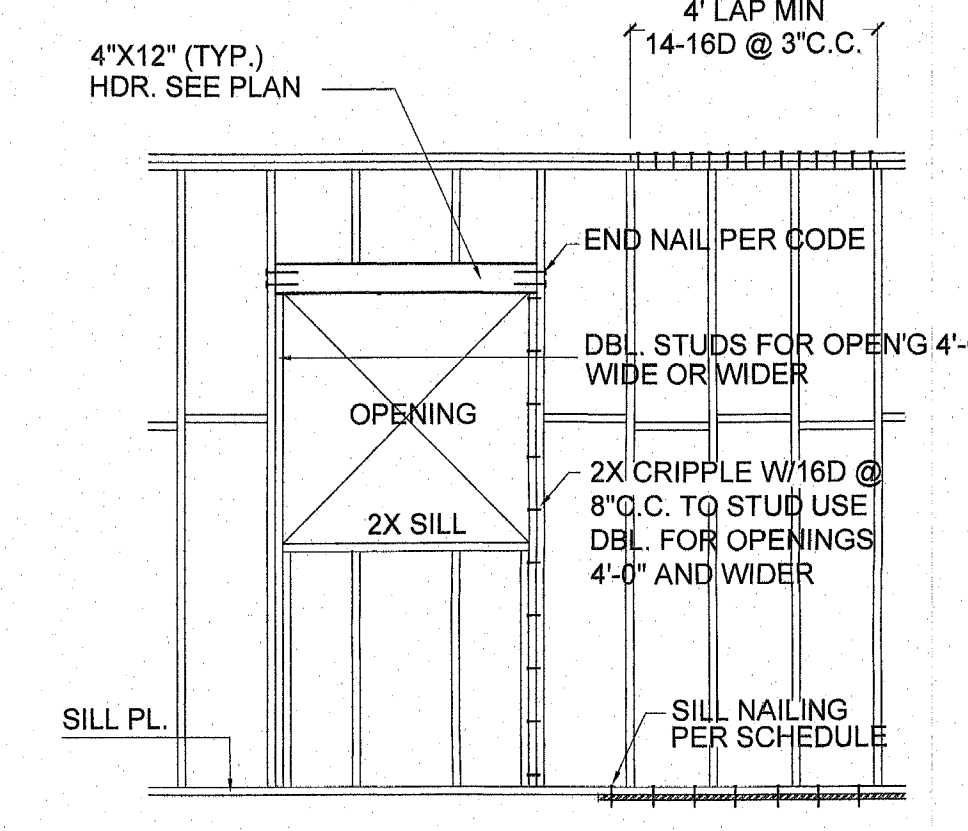
G5 STUD TO JOIST DETAIL



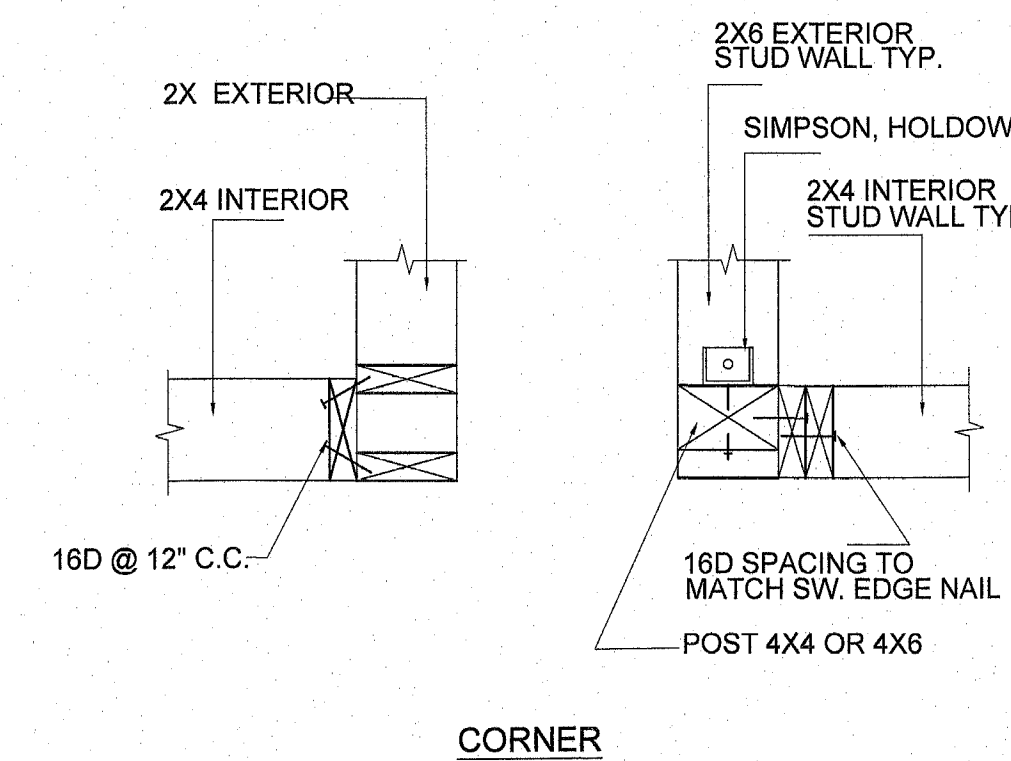
G6 SHEARWALL CONNECTION STUD TO JOIST DETAIL



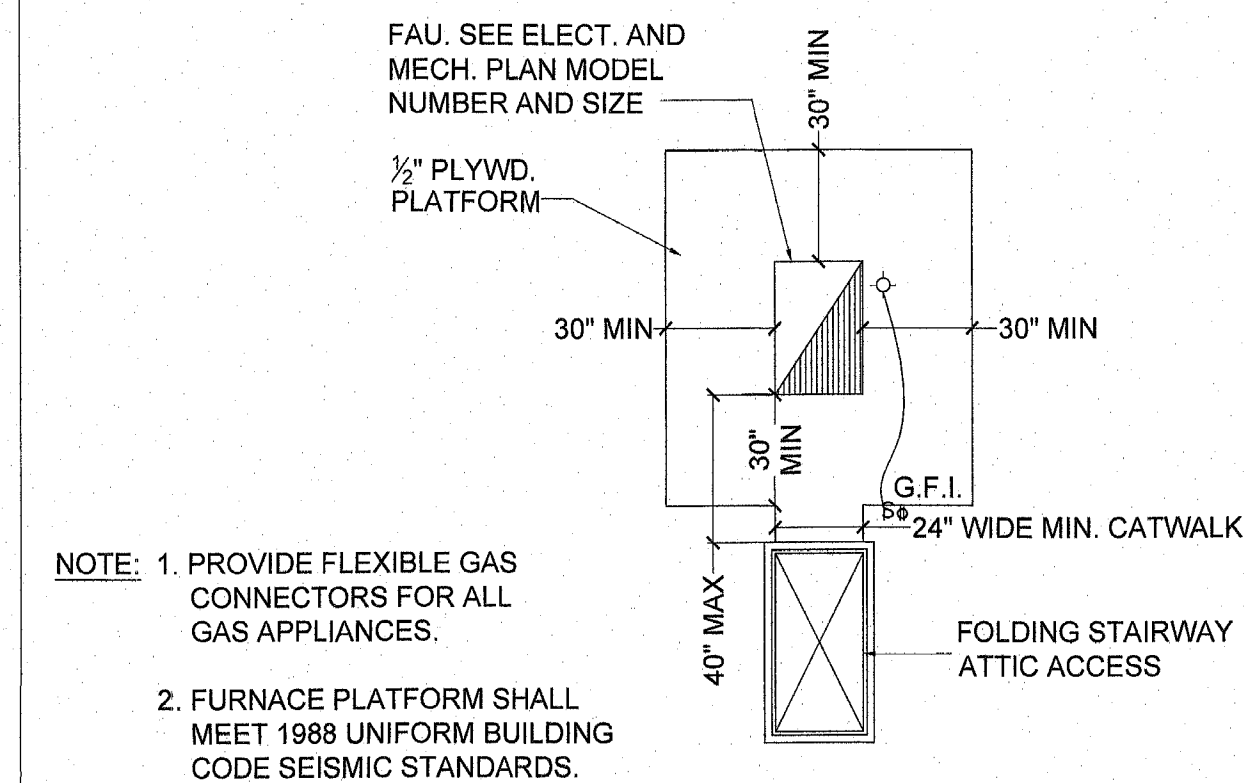
G7 TYP. REINF BAR HOOKS



G9 WALL-FRAMING DETAIL



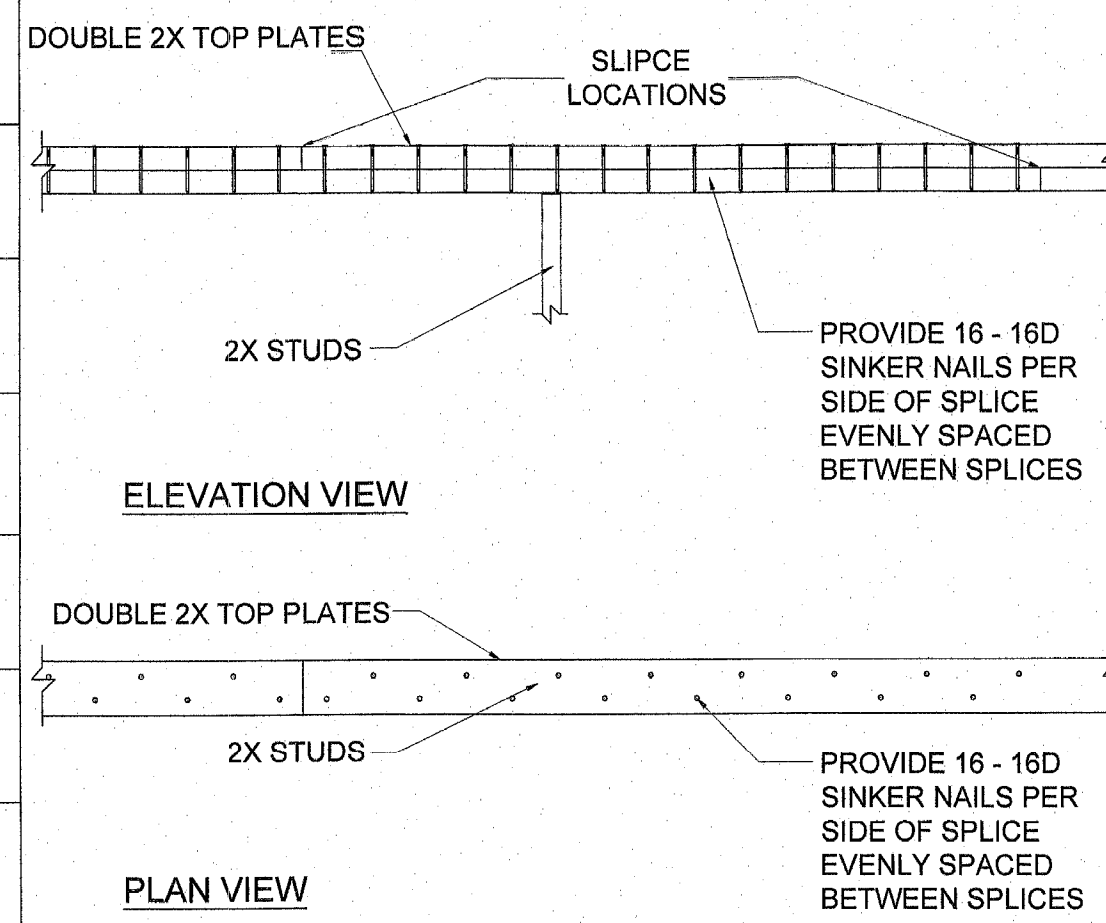
G10 WALL-FRAMING DETAIL



G18 TYPICAL ATTIC FURNACE DETAIL

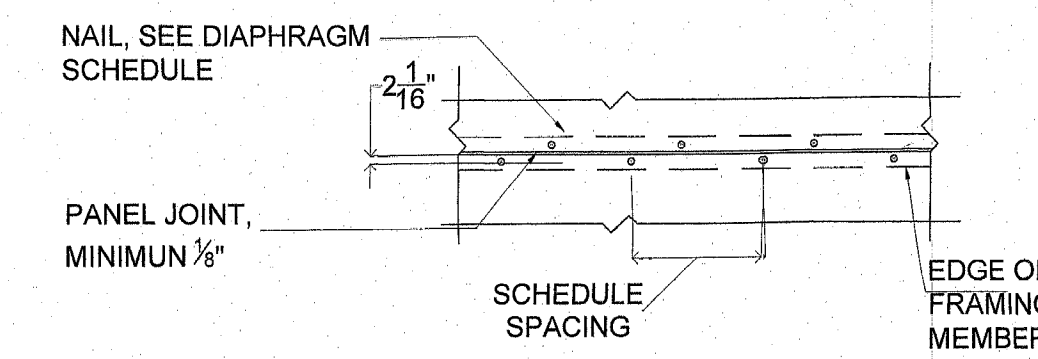
OPENINGS (U.N.O.)					
WALL HEIGHT	WIDTH	HEADER	CRIPPLE STUDS	EXTERIOR KING STUDS	INTERIOR KING STUDS
< 8'-0"	< 4'-0"	4x6	1-2x4 1-2x6	1-2x4 1-2x6	1-2x4 1-2x6
	4'-0" to 6'-0"	4x10	2-2x4 1-2x6	2-2x4 1-2x6	1-2x4 1-2x6
	6'-0" to 8'-0"	4x10	2-2x4 2-2x6	2-2x4 1-2x6	1-2x4 1-2x6
	8'-0" to 16'-6"	SEE PLAN	1-4x8 3-2x6	2-2x6	2-2x4 1-2x6
8'-0" TO 10'-0"	< 4'-0"	4x6	2-2x4 1-2x6	2-2x4 1-2x6	1-2x4 1-2x6
	4'-0" to 6'-0"	4x8	3-2x4 1-2x6	3-2x4 1-2x6	1-2x4 1-2x6
	6'-0" to 8'-0"	4x10	3-2x4 2-2x6	4-2x4 2-2x6	1-2x4 1-2x6
	8'-0" to 16'-6"	SEE PLAN	3-2x6	3-2x6	2-2x4 1-2x6
10'-0" TO 12'-0"	< 4'-0"	4x6	1-2x6	2-2x6	1-2x4 1-2x6
	4'-0" to 6'-0"	4x8	1-2x6	2-2x6	1-2x4 1-2x6
	6'-0" to 8'-0"	4x10	2-2x6	2-2x6	2-2x4 1-2x6
	8'-0" to 12'-0"	SEE PLAN	2-2x6	3-2x6	1-4x4 1-2x6
	12'-0" to 16'-6"	SEE PLAN	3-2x6	1-6x8	1-4x6 2-2x6

INTERIOR STUD HEIGHTS (U.N.O.)	
STUD SIZE	HEIGHT (FT)
2x4	14
2x6	20

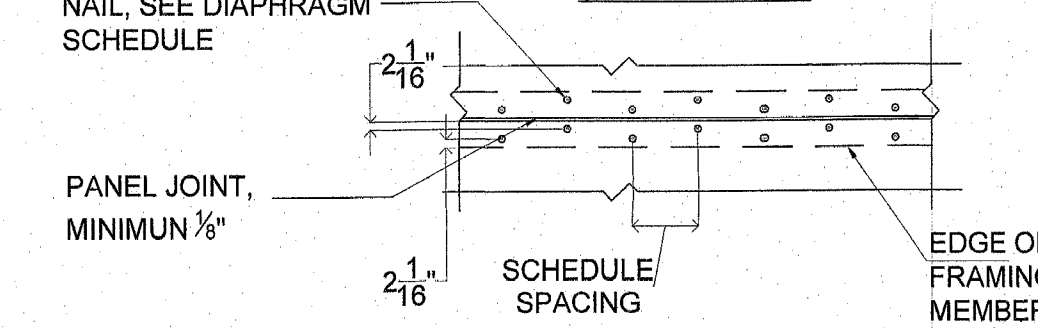


TOP PLATE SPLICE
2,500 LB CAPACITY SPLICE NTS

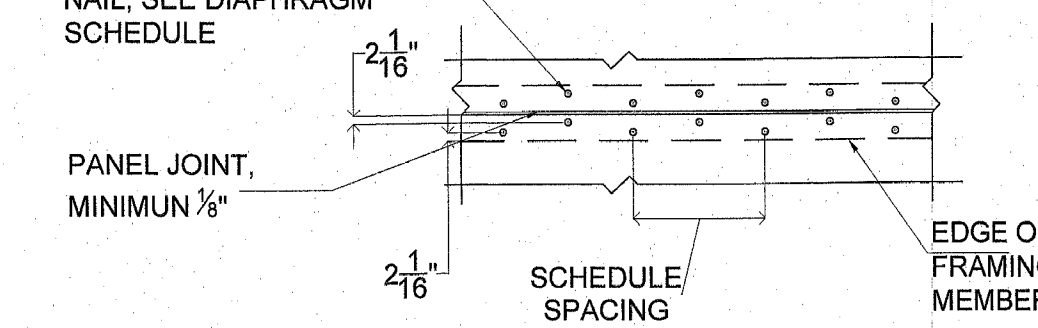
1 LINE OF FASTENERS IN 2X MEMBER



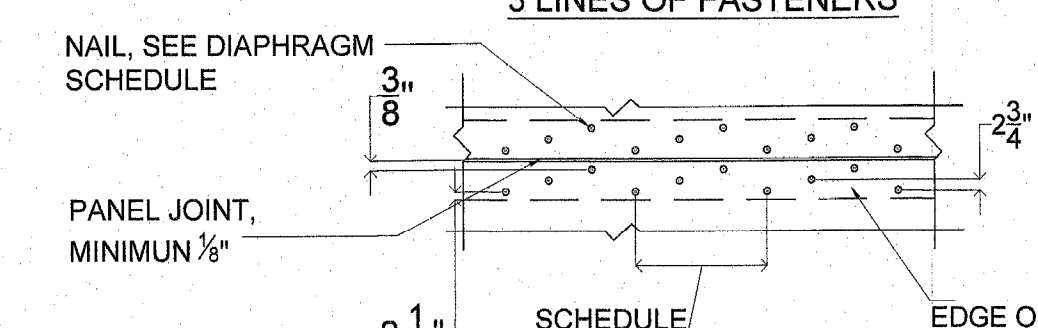
1 LINE OF FASTENERS IN 3X MEMBER (STAGGERED)



2 LINES OF FASTENERS



3 LINES OF FASTENERS



ROOF 1/2" CDX W/ 8D @ 6" O.C.
FLOOR 3/4" CDX W/ 10D @ 6" O.C.

DIAPHRAGM SCHEDULE

NAIL SPACING AT PANEL EDGES, USE 10" AT FIELD

SHEAR WALL SCHEDULE

WALL	SHEATHING	ROOF TO WALL	PLATE TO BLOCK	BLOCK TO PLATE	ANCHOR 5/8" DIA	WALL CAPACITY
A	1/2" CDX PLYWD W/ 8d @ 6" O.C	A35 @ 16"	16d @ 8"	A35 @ 16"	4'-0"	260
B	1/2" CDX PLYWD W/ 8d @ 4" O.C	A35 @ 12"	1/4" LAG @ 12"	A35 @ 12"	3'-0"	380
C	1/2" STR 1 PLYWD W/ 8d @ 3" O.C	A35 @ 8"	1/4" LAG @ 8"	A35 @ 8"	2'-0"	550
2C	1/2" STR 1 PLYWD W/ 8d @ 3" O.C	A35 @ 4"	1/4" LAG @ 4"	A35 @ 4"	1'-0"	1100
D	1/2" CDX PLYWD W/ 8d @ 4" O.C BOTH SIDES	A35 @ 6"	1/4" LAG @ 4"	A35 @ 6"	1'-6"	720
E	1/2" STR PLYWD W/ 10 d @ 2" O.C STAGG	A35 @ 6"	1/4" LAG @ 4"	A35 @ 6"	3/4" A,B @ 12" O.C	820

ALL EXTERIOR WALLS TO BE SHEATHED WITH WALL "A" U.O.N USE 3 X BOUNDARY FRAMING INCLUDING SILL PLATE FOR WALLS B,C, AND D AND 4X BOUNDARY MEMBERS AND SILL PLATE FOR WALLS WITH SHEAR AT BOTH SIDES

ALL ANCHOR BOLTS TO BE SPACED AT 4' O.C. U.O.N USE 3"X3"X1/4 PL AT ANCHOR BOLTS

ALL HEADERS TO BE 4X12 U.O.N

ALL BEAMS SHOWN ON PLAN SHALL BE SUPPORTED BY A SOLID POST OR A DOUBLE STUD WITH A METAL SIMPSON CONNECTOR. USE CC FOR MAIN FRAMING ELEMENTS

ALL POST SHALL HAVE A POST BELOW DOWN TO FOUNDATION LEVEL OR BE SUPPORTED ON A BEAM IF A WALL DOES NOT LINE UP AT THE LEVEL IMMEDIATELY BELOW

SEE GENERAL NOTES FOR OTHER IMPORTANT FRAMING NOTES

SEVERAL TYPICAL DETAILS ARE INCLUDED ON DETAIL SHEET THAT ARE NOT NOT KEYED ON PLAN REFER TO IT FOR WALL FRAMING, STUD TO WALL CONNECTION, HOLES ON JOIST ETC.

HOLDOWNS SHOWN ON ROOF FRAMING PLAN ANCHOR SECOND FLOOR WALLS TO FIRST FLOOR WALL

NOTE: ONLY USE TABLE IF THE PLANS DO NOT HAVE THE MEMBERS SPECIFIED.